

CITY OF ESCONDIDO
PRIORITY DEVELOPMENT PROJECT (PDP) STORM
WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR
425 & 427 W. Mission Ave.



A handwritten signature in blue ink, appearing to read "D. Abada", written over a horizontal line.

ENGINEER OF WORK: Danny Abada, P.E.

PREPARED FOR:

Owner: NLA Acquisitions, LLC
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Email: cwilliams@netleasealliance.com

Subdivider: Same as owner

PREPARED BY:
SPEAR & ASSOCIATES, INC.
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DATE:
1/3/17

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CERTIFICATION PAGE

Project Name: 425 & 427 W. Mission Avenue

I hereby declare that I am the Engineer in Responsible Charge of design of storm water BMPs for this project, and that I have exercised responsible charge over the design of the project as defined in Section 6703 of the Business and Professions Code, and that the design is consistent with the requirements of the BMP Design Manual, which is based on the requirements of SDRWQCB Order No. R9-2013-0001 (MS4 Permit) or the current Order.

I have read and understand that the City Engineer has adopted minimum requirements for managing urban runoff, including storm water, from land development activities, as described in the BMP Design Manual. I certify that this SWQMP has been completed to the best of my ability and accurately reflects the project being proposed and the applicable source control and site design BMPs proposed to minimize the potentially negative impacts of this project's land development activities on water quality. I understand and acknowledge that the plan check review of this SWQMP by the City Engineer is confined to a review and does not relieve me, as the Engineer in Responsible Charge of design of storm water BMPs for this project, of my responsibilities for project design.



Danny Abada, P.E. RCE 45381 Expiration 9/30/18

Spear & Associates Inc

Company

1/3/17

Date



PROJECT VICINITY MAP

Storm Water - Priority Development Project Submittal		Form I-2a	
Project Summary Information			
Project Name		425 & 427 W. Mission Avenue	
Project Address		425 & 427 W. Mission Ave, City of Escondido, CA 92025	
Assessor's Parcel Number(s)		229-172-38	
Permit Application Number			
Project Watershed (Hydrologic Unit)		Select One: <input checked="" type="checkbox"/> Carlsbad 904 <input type="checkbox"/> San Dieguito 905	
Parcel Area (total area of Assessor's Parcel(s) associated with the project)		2.25 Acres (98,117 Square Feet)	
Area to be disturbed by the project (Project Area)		2.25 Acres (98,117 Square Feet)	
Project Proposed Impervious Area (subset of Project Area)		1.80 Acres (78,226 Square Feet)	
Project Proposed Pervious Area (subset of Project Area)		0.45 Acres (19,814 Square Feet)	
Note: Proposed Impervious Area + Proposed Pervious Area = Area to be Disturbed by the Project. This may be less than the Parcel Area.			
Confirmation of Priority Development Project Determination			
The project is (select one): <input type="checkbox"/> New Development <input checked="" type="checkbox"/> Redevelopment			
The total proposed newly created or replaced impervious area is: 78,226 ft ² (1.80) acres			
Is the project in any of the following categories, (a) through (f)?			
Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	(a)	New development projects that create 10,000 square feet or more of impervious surfaces (collectively over the entire project site). This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	(b)	Redevelopment projects that create and/or replace 5,000 square feet or more of impervious surface (collectively over the entire project site on an existing site of 10,000 square feet or more of impervious surfaces). This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.

Yes X	No <input type="checkbox"/>	(c)	<p>New and redevelopment projects that create and/or replace 5,000 square feet or more of impervious surface (collectively over the entire project site), and support one or more of the following uses:</p> <ul style="list-style-type: none"> (i) Restaurants. This category is defined as a facility that sells prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC code 5812). (ii) Hillside development projects. This category includes development on any natural slope that is twenty-five percent or greater. (iii) Parking lots. This category is defined as a land area or facility for the temporary parking or storage of motor vehicles used personally, for business, or for commerce. (iv) Streets, roads, highways, freeways, and driveways. This category is defined as any paved impervious surface used for the transportation of automobiles, trucks, motorcycles, and other vehicles.
Yes <input type="checkbox"/>	No X	(d)	<p>New or redevelopment projects that create and/or replace 2,500 square feet or more of impervious surface (collectively over the entire project site), and discharging directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).</p> <p><u>Note: ESAs are areas that include but are not limited to all Clean Water Act Section 303(d) impaired water bodies; areas designated as Areas of Special Biological Significance by the State Water Board and SDRWQCB; State Water Quality Protected Areas; water bodies designated with the RARE beneficial use by the State Water Board and SDRWQCB; and any other equivalent environmentally sensitive areas which have been identified by the Copermittees. See manual Section 1.4.2 for additional guidance.</u></p>
Yes <input type="checkbox"/>	No X	(e)	<p>New development projects, or redevelopment projects that create and/or replace 5,000 square feet or more of impervious surface, that support one or more of the following uses:</p> <ul style="list-style-type: none"> (i) Automotive repair shops. This category is defined as a facility that is categorized in any one of the following SIC codes: 5013, 5014, 5541, 7532-7534, or 7536-7539. (ii) Retail gasoline outlets. This category includes retail gasoline outlets that meet the following criteria: (a) 5,000 square feet or more or (b) a projected Average Daily Traffic of 100 (ADT) or more vehicles per day.
Yes X	No <input type="checkbox"/>	(f)	<p>New or redevelopment projects that result in the disturbance of one or more acres of land and are expected to generate pollutants post construction.</p>
<p>Does the project meet the definition of one or more of the PDP categories (a) through (f) listed above?</p> <p><input type="checkbox"/> No – the project is not a PDP. STOP HERE. Do not complete this form. See Standard Project Submittal checklist.</p> <p><input checked="" type="checkbox"/> Yes – the project is a PDP. CONTINUE FILLING IN THIS FORM.</p>			
<p>The following is for redevelopment PDPs only:</p> <p>The area of existing (pre-project) impervious area at the project site is: 73,290 ft² (A)</p> <p>The total proposed newly created or replaced impervious area is: 78,226 ft² (B)</p>			

Percent impervious surface created or replaced $(B/A)*100$: 100%
The percent impervious surface created or replaced is (select one based on the above calculation):
 less than or equal to fifty percent (50%) – only new impervious areas are considered PDP
OR
 greater than fifty percent (50%) – the entire project site is a PDP

Description of Existing Site Condition and Drainage Patterns

Current Status of the Site (select all that apply):

- Existing development
- Previously graded but not built out
- Agricultural or other non-impervious use
- Vacant, undeveloped/natural

Description / Additional Information:

Existing Restaurant, Hotel and Parking lot to be removed and replaced

Existing Land Cover Includes (select all that apply):

- Vegetative Cover
- Non-Vegetated Pervious Areas
- Impervious Areas

Description / Additional Information:

Site currently has a Hotel and Restaurant with Parking Lot and Landscaping.

Underlying Soil belongs to Hydrologic Soil Group (select all that apply):

- NRCS Type A
- NRCS Type B
- NRCS Type C
- NRCS Type D

Approximate Depth to Groundwater:

- Groundwater Depth < 5 feet
- 5 feet < Groundwater Depth < 10 feet
- 10 feet < Groundwater Depth < 20 feet
- Groundwater Depth > 20 feet

Existing Natural Hydrologic Features (select all that apply):

- Watercourses
- Seeps
- Springs
- Wetlands
- None

Description / Additional Information:

Description of Existing Site Topography and Drainage [How is storm water runoff conveyed from the site? At a minimum, this description should answer (1) whether existing drainage conveyance is natural or urban; (2) describe existing constructed storm water conveyance systems, if applicable; and (3) is runoff from offsite conveyed through the site? If so, describe]:

The existing site drainage is natural with topographic elevations ranging from approximately 649 to 644, sloping in a southerly direction. The drainage flows south towards a 8' wide x 4' high reinforced concrete box running across Centre City Parkway then continuing 0.45 miles to Escondido Creek and 13.3 miles to San Elijo Lagoon and the Pacific Ocean

Description of Proposed Site Development and Drainage Patterns

Project Description / Proposed Land Use and/or Activities:

The project consists of demolishing an existing restaurant, hotel and parking lot currently on the site and splitting the parcel into four parcels with four one story buildings. The proposed use would include two restaurants, two retail and one indoor carwash facility. Each building will have its own covered trash enclosure. The two Restaurant buildings will be each equipped with a grease interceptor.

List/describe proposed impervious features of the project (e.g., buildings, roadways, parking lots, courtyards, athletic courts, other impervious features):

Impervious features include building rooftops, sidewalks, driveways and a parking lot.

List/describe proposed pervious features of the project (e.g., landscape areas):

Pervious features include landscaping and biofiltration basins for stormwater treatment.

Does the project include grading and changes to site topography?

Yes

No

Description / Additional Information:

Does the project include changes to site drainage (e.g., installation of new storm water conveyance systems)?

Yes

No

Description / Additional Information:

Onsite stormdrains and biofiltration basins for stormwater treatment.

Identify whether any of the following features, activities, and/or pollutant source areas will be present (select all that apply):

Onsite storm drain inlets

Interior floor drains and elevator shaft sump pumps

Interior parking garages

Need for future indoor & structural pest control

Landscape/outdoor pesticide use

- Pools, spas, ponds, decorative fountains, and other water features
- Food service
- Refuse areas
- Industrial processes
- Outdoor storage of equipment or materials
- Vehicle and equipment cleaning
- Vehicle/equipment repair and maintenance
- Fuel dispensing areas
- Loading docks
- Fire sprinkler test water
- Miscellaneous drain or wash water
- Plazas, sidewalks, and parking lots

Identification of Receiving Water Pollutants of Concern

Describe path of storm water from the project site to the Pacific Ocean (or bay, lagoon, lake or reservoir, as applicable):

The drainage flows south towards a 8’ wide x 4’ high reinforced concrete box running across Centre City Parkway then continuing 0.45 miles to Escondido Creek and 13.3 miles to San Elijo Lagoon and the Pacific Ocean

List any 303(d) impaired water bodies within the path of storm water from the project site to the Pacific Ocean (or bay, lagoon, lake or reservoir, as applicable), identify the pollutant(s)/stressor(s) causing impairment, and identify any TMDLs for the impaired water bodies:

303(d) Impaired Water Body	Pollutant(s)/Stressor(s)	TMDLs
Escondido Creek	DDT(Dichlorodiphenyltrichloroethane), Enterococcus, Fecal Coliform, Manganese, Phosphate, Selenium, Sulfates, Total Dissolved Solids, Total Nitrogen as N, Toxicity	
San Elijo Lagoon	Eutrophic, Indicator Bacteria, Sedimentation/Siltation	
Pacific Ocean Shoreline, San Elijo	Total Coliform	

Identification of Project Site Pollutants*

***Identification of project site pollutants is only required if flow-thru treatment BMPs are implemented onsite in lieu of retention or biofiltration BMPs (note the project must also participate in an alternative compliance program unless prior lawful approval to meet earlier PDP requirements is demonstrated)**

Identify pollutants anticipated from the project site based on all proposed use(s) of the site (see manual Appendix B.6):

Pollutant	Not Applicable to the Project Site	Anticipated from the Project Site	Also a Receiving Water Pollutant of Concern
Sediment			
Nutrients			

Heavy Metals			
Organic Compounds			
Trash & Debris			
Oxygen Demanding Substances			
Oil & Grease			
Bacteria & Viruses			
Pesticides			

Hydromodification Management Requirements

Do hydromodification management requirements apply (see Section 1.6 of the manual)?

X Yes, hydromodification management flow control structural BMPs required.

- No, the project will discharge runoff directly to existing underground storm drains discharging directly to water storage reservoirs, lakes, enclosed embayments, or the Pacific Ocean.
- No, the project will discharge runoff directly to conveyance channels whose bed and bank are concrete-lined all the way from the point of discharge to water storage reservoirs, lakes, enclosed embayments, or the Pacific Ocean.
- No, the project will discharge runoff directly to an area identified as appropriate for an exemption by the WMAA for the watershed in which the project resides.

Description / Additional Information (to be provided if a 'No' answer has been selected above):

Critical Coarse Sediment Yield Areas*

***This Section only required if hydromodification management requirements apply**

Based on the maps provided within the WMAA, do potential critical coarse sediment yield areas exist within the project drainage boundaries?

Yes

No, no critical coarse sediment yield areas to be protected based on WMAA maps

If yes, have any of the optional analyses presented in Section 6.2 of the manual been performed?

6.2.1 Verification of GLUs Onsite

6.2.2 Downstream Systems Sensitivity to Coarse Sediment

6.2.3 Optional Additional Analysis of Potential Critical Coarse Sediment Yield Areas Onsite

No optional analyses performed, the project will avoid critical coarse sediment yield areas identified based on WMAA maps

If optional analyses were performed, what is the final result?

No critical coarse sediment yield areas to be protected based on verification of GLUs onsite.

Critical coarse sediment yield areas exist but additional analysis has determined that protection is not required. Documentation attached in Attachment 8 of the SWQMP.

Critical coarse sediment yield areas exist and require protection. The project will implement management measures described in Sections 6.2.4 and 6.2.5 as applicable, and the areas are identified on the SWQMP Exhibit.

Discussion / Additional Information:

Flow Control for Post-Project Runoff*

***This Section only required if hydromodification management requirements apply**

List and describe point(s) of compliance (POCs) for flow control for hydromodification management (see Section 6.3.1). For each POC, provide a POC identification name or number correlating to the project's HMP Exhibit and a receiving channel identification name or number correlating to the project's HMP Exhibit.

POC 1 Located at the southwest corner of the site

Has a geomorphic assessment been performed for the receiving channel(s)?

No, the low flow threshold is 0.1Q2 (default low flow threshold)

Yes, the result is the low flow threshold is 0.1Q2

Yes, the result is the low flow threshold is 0.3Q2

Yes, the result is the low flow threshold is 0.5Q2

If a geomorphic assessment has been performed, provide title, date, and preparer:

The city has performed a geomorphic assessment for Escondido Creek determining Low Suceptibility.

Discussion / Additional Information: (optional)

Other Site Requirements and Constraints

When applicable, list other site requirements or constraints that will influence storm water management design, such as zoning requirements including setbacks and open space, or local codes governing minimum street width, sidewalk construction, allowable pavement types, and drainage requirements.

Optional Additional Information or Continuation of Previous Sections As Needed

This space provided for additional information or continuation of information from previous sections as needed.

Source Control BMP Checklist for PDPs	Form I-2b
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Project Identification

Project Name 425 & 427 W. Mission Avenue
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Permit Application Number

Source Control BMPs

All development projects must implement source control BMPs SC-1 through SC-6 where applicable and feasible. See Chapter 4 and Appendix E of the manual for information to implement source control BMPs shown in this checklist.

Answer each category below pursuant to the following.

- "Yes" means the project will implement the source control BMP as described in Chapter 4 and/or Appendix E of the manual. Discussion / justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

Source Control Requirement	Applied?		
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SC-1 Prevention of Illicit Discharges into the MS4	X Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
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Discussion / justification if SC-1 not implemented:

SC-2 Storm Drain Stenciling or Signage	X Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
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Discussion / justification if SC-2 not implemented:

SC-3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	Yes	<input type="checkbox"/> No	X N/A
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Discussion / justification if SC-3 not implemented:
Not Proposed

SC-4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	Yes	<input type="checkbox"/> No	X N/A
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Discussion / justification if SC-4 not implemented:
Not Proposed

Source Control Requirement	Applied?		
SC-5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Discussion / justification if SC-5 not implemented:			
SC-6 Additional BMPs Based on Potential Sources of Runoff Pollutants (must answer for each source listed below) <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Onsite storm drain inlets <input checked="" type="checkbox"/> Interior floor drains and elevator shaft sump pumps <input type="checkbox"/> Interior parking garages <input type="checkbox"/> Need for future indoor & structural pest control <input checked="" type="checkbox"/> Landscape/outdoor pesticide use <input type="checkbox"/> Pools, spas, ponds, decorative fountains, and other water features <input checked="" type="checkbox"/> Food service <input checked="" type="checkbox"/> Refuse areas <input type="checkbox"/> Industrial processes <input type="checkbox"/> Outdoor storage of equipment or materials <input checked="" type="checkbox"/> Vehicle and equipment cleaning <input type="checkbox"/> Vehicle/equipment repair and maintenance <input type="checkbox"/> Fuel dispensing areas <input type="checkbox"/> Loading docks <input checked="" type="checkbox"/> Fire sprinkler test water <input type="checkbox"/> Miscellaneous drain or wash water <input checked="" type="checkbox"/> Plazas, sidewalks, and parking lots 	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes 	<ul style="list-style-type: none"> <input type="checkbox"/> No 	<ul style="list-style-type: none"> <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
Discussion / justification if SC-6 not implemented. Clearly identify which sources of runoff pollutants are discussed. Justification must be provided for <u>all</u> "No" answers shown above.			

Site Design BMP Checklist for PDPs		Form I-2c	
Project Identification			
Project Name 425 & 427 W. Mission Avenue			
Permit Application Number			
Site Design BMPs			
All development projects must implement site design BMPs SD-1 through SD-8 where applicable and feasible. See Chapter 4 and Appendix E of the manual for information to implement site design BMPs shown in this checklist.			
Answer each category below pursuant to the following.			
<ul style="list-style-type: none"> • "Yes" means the project will implement the site design BMP as described in Chapter 4 and/or Appendix E of the manual. Discussion / justification is not required. • "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided. • "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project site has no existing natural areas to conserve). Discussion / justification may be provided. 			
Site Design Requirement		Applied?	
SD-1 Maintain Natural Drainage Pathways and Hydrologic Features		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Discussion / justification if SD-1 not implemented:			
SD-2 Conserve Natural Areas, Soils, and Vegetation		<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Discussion / justification if SD-2 not implemented:			
None existing			
SD-3 Minimize Impervious Area		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Discussion / justification if SD-3 not implemented:			
SD-4 Minimize Soil Compaction		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Discussion / justification if SD-4 not implemented:			

Form I-2c Page 2 of 2			
Site Design Requirement	Applied?		
SD-5 Impervious Area Dispersion	Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
Discussion / justification if SD-5 not implemented: Note feasible due to distant location of landscaped areas			
SD-6 Runoff Collection	Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
Discussion / justification if SD-6 not implemented: Not feasible due to soil type c with low infiltration rates, lack of space and low water demand			
SD-7 Landscaping with Native or Drought Tolerant Species	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Discussion / justification if SD-7 not implemented:			
SD-8 Harvesting and Using Precipitation	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Discussion / justification if SD-8 not implemented: Harvesting is unfeasible due to low water demand and lack of space.			

Summary of PDP Structural BMPs	Form I-3
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Project Identification

Project Name 425 & 427 W. Mission Avenue

Permit Application Number

PDP Structural BMPs

All PDPs must implement structural BMPs for storm water pollutant control (see Chapter 5 of the manual). Selection of PDP structural BMPs for storm water pollutant control must be based on the selection process described in Chapter 5. PDPs subject to hydromodification management requirements must also implement structural BMPs for flow control for hydromodification management (see Chapter 6 of the manual). Both storm water pollutant control and flow control for hydromodification management can be achieved within the same structural BMP(s).

PDP structural BMPs must be verified by the local jurisdiction at the completion of construction. This may include requiring the project owner or project owner's representative to certify construction of the structural BMPs (see Section 1.12 of the manual). PDP structural BMPs must be maintained into perpetuity, and the local jurisdiction must confirm the maintenance (see Section 7 of the manual).

Use this form to provide narrative description of the general strategy for structural BMP implementation at the project site in the box below. Then complete the PDP structural BMP summary information sheet (page 3 of this form) for each structural BMP within the project (copy the BMP summary information page as many times as needed to provide summary information for each individual structural BMP).

Describe the general strategy for structural BMP implementation at the site. This information must describe how the steps for selecting and designing storm water pollutant control BMPs presented in Section 5.1 of the manual were followed, and the results (type of BMPs selected). For projects requiring hydromodification flow control BMPs, indicate whether pollutant control and flow control BMPs are integrated or separate.

Biofiltration (Bioretention) was selected as the most efficient BMP to treat the project's anticipated and expected pollutants. Biofiltration is used for treatment and hydromodification.

The biofiltration basins were designed and sized in accordance with design criteria and considerations listed in the BMP design manual fact sheets.

Runoff factors were adjusted to account for the site design BMPs and the DCV was calculated.

Harvest and use of stormwater within the project was found unfeasible because there will be no significant demand with the proposed drought tolerant landscaping and development type, also due to limited space.

Infiltration is unfeasible for full capture condition with the existing type C soil.

(Continue on page 2 as necessary.)

(Page reserved for continuation of description of general strategy for structural BMP implementation at the site)

(Continued from page 1)

Structural BMP Summary Information (Copy this page as needed to provide information for each individual proposed structural BMP)	
Structural BMP ID No. DMA A	
Construction Plan Sheet No. BMP Map	
Type of structural BMP: <input type="checkbox"/> Retention by harvest and use (HU-1) <input type="checkbox"/> Retention by infiltration basin (INF-1) <input type="checkbox"/> Retention by bioretention (INF-2) <input type="checkbox"/> Retention by permeable pavement (INF-3) <input type="checkbox"/> Partial retention by biofiltration with partial retention (PR-1) <input checked="" type="checkbox"/> Biofiltration (BF-1) <input type="checkbox"/> Flow-thru treatment control with prior lawful approval to meet earlier PDP requirements (provide BMP type/description in discussion section below) <input type="checkbox"/> Flow-thru treatment control included as pre-treatment/forebay for an onsite retention or biofiltration BMP (provide BMP type/description and indicate which onsite retention or biofiltration BMP it serves in discussion section below) <input type="checkbox"/> Flow-thru treatment control with alternative compliance (provide BMP type/description in discussion section below) <input type="checkbox"/> Detention pond or vault for hydromodification management <input type="checkbox"/> Other (describe in discussion section below)	
Purpose: <input type="checkbox"/> Pollutant control only <input type="checkbox"/> Hydromodification control only <input checked="" type="checkbox"/> Combined pollutant control and hydromodification control <input type="checkbox"/> Pre-treatment/forebay for another structural BMP <input type="checkbox"/> Other (describe in discussion section below)	
Who will certify construction of this BMP? Provide name and contact information for the party responsible to sign BMP verification forms if required by the City Engineer (See Section 1.12 of the manual)	NLA Acquisitions, LLC Attn: Chad Williams 725 Cool Springs Blvd., Suite 600 Tel: (615) 815-1465
Who will be the final owner of this BMP?	Same
Who will maintain this BMP into perpetuity?	same
What is the funding mechanism for maintenance?	Owner, Category 2
Discussion (as needed):	

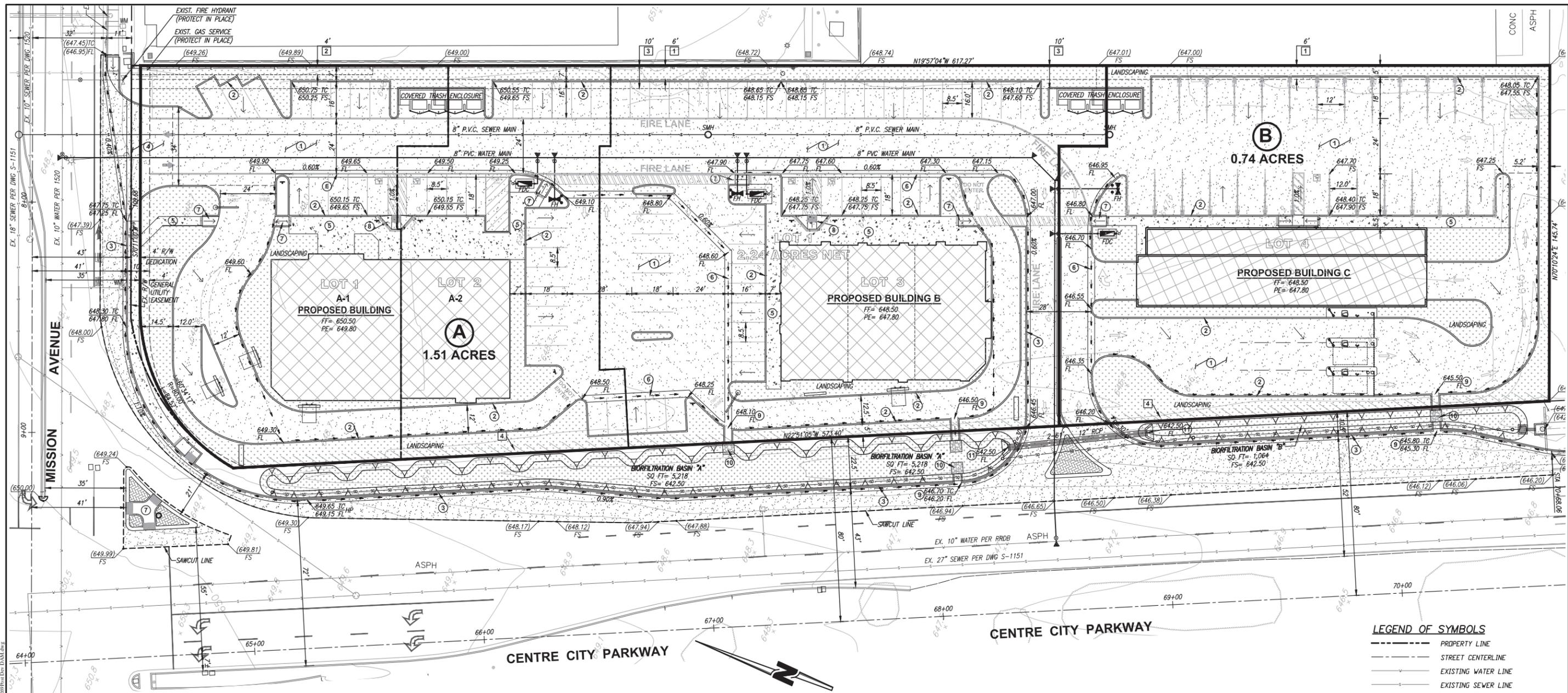
Structural BMP Summary Information (Copy this page as needed to provide information for each individual proposed structural BMP)	
Structural BMP ID No. DMA B	
Construction Plan Sheet No. BMP Map	
Type of structural BMP: <input type="checkbox"/> Retention by harvest and use (HU-1) <input type="checkbox"/> Retention by infiltration basin (INF-1) <input type="checkbox"/> Retention by bioretention (INF-2) <input type="checkbox"/> Retention by permeable pavement (INF-3) <input type="checkbox"/> Partial retention by biofiltration with partial retention (PR-1) <input checked="" type="checkbox"/> Biofiltration (BF-1) <input type="checkbox"/> Flow-thru treatment control with prior lawful approval to meet earlier PDP requirements (provide BMP type/description in discussion section below) <input type="checkbox"/> Flow-thru treatment control included as pre-treatment/forebay for an onsite retention or biofiltration BMP (provide BMP type/description and indicate which onsite retention or biofiltration BMP it serves in discussion section below) <input type="checkbox"/> Flow-thru treatment control with alternative compliance (provide BMP type/description in discussion section below) <input type="checkbox"/> Detention pond or vault for hydromodification management <input type="checkbox"/> Other (describe in discussion section below)	
Purpose: <input type="checkbox"/> Pollutant control only <input type="checkbox"/> Hydromodification control only <input checked="" type="checkbox"/> Combined pollutant control and hydromodification control <input type="checkbox"/> Pre-treatment/forebay for another structural BMP <input type="checkbox"/> Other (describe in discussion section below)	
Who will certify construction of this BMP? Provide name and contact information for the party responsible to sign BMP verification forms if required by the City Engineer (See Section 1.12 of the manual)	NLA Acquisitions, LLC Attn: Chad Williams 725 Cool Springs Blvd., Suite 600 Tel: (615) 815-1465
Who will be the final owner of this BMP?	Same
Who will maintain this BMP into perpetuity?	same
What is the funding mechanism for maintenance?	Owner, Category 2
Discussion (as needed):	

ATTACHMENT 1

BACKUP FOR PDP POLLUTANT CONTROL BMPS

Check which Items are Included behind this cover sheet:

Attachment Sequence	Contents	Checklist
Attachment 1a	DMA Exhibit (Required)	X Included
Attachment 1b	Tabular Summary of DMAs Showing DMA ID matching DMA Exhibit, DMA Area, and DMA Type (Required)	X Included on DMA Exhibit in Attachment 1a <input type="checkbox"/> Included as Attachment 1b, separate from DMA Exhibit
Attachment 1c	Harvest and Use Feasibility Screening Checklist (Required unless the entire project will use infiltration BMPs)	X Included (see worksheet B.3.1) <input type="checkbox"/> Not included because the entire project will use infiltration BMPs
Attachment 1d	Categorization of Infiltration Feasibility Condition (Required unless the project will use harvest and use BMPs) Factor of Safety and Design Infiltration Rate Worksheet	<input type="checkbox"/> Included <input type="checkbox"/> Not included because the entire project will use harvest and use BMPs <input type="checkbox"/> Included <input type="checkbox"/> Not Included (Not Applicable) Sensitivity to Coarse Sediment
Attachment 1e	Pollutant Control BMP Design Worksheets / Calculations (Required)	X Included

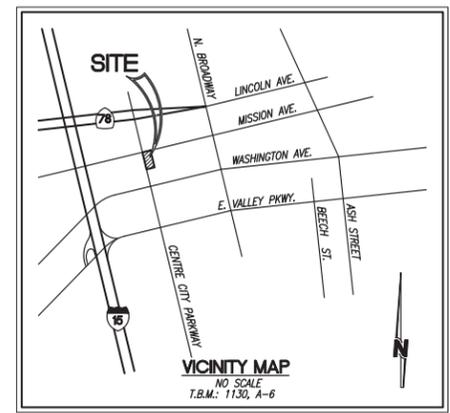
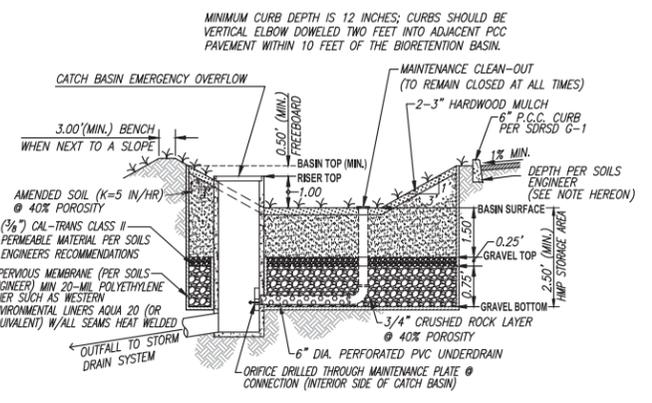
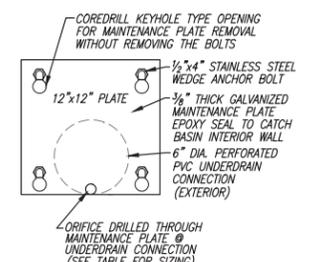
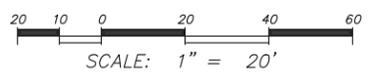


LEGEND OF SYMBOLS

- PROPERTY LINE
- STREET CENTERLINE
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- - - EXISTING CONTOURS
- - - SAWCUT LINE

DRAINAGE MANAGEMENT AREA TABLE

SYMBOL	PROPOSED SURFACE	SOIL TYPE	LOT 1	LOT 2	LOT 3	LOT 4
[Symbol]	ROOFTOPS	"C"	3,831 SF	2,678 SF	5,205 SF	4,290 SF
[Symbol]	PROPOSED NEW A.C. PAVEMENT	"C"	7,622 SF	9,153 SF	19,970 SF	20,808 SF
[Symbol]	CONCRETE WALKWAYS, HARDSCAPE, ETC.	"C"	895 SF	1,207 SF	1,507 SF	946 SF
[Symbol]	LANDSCAPING	"C"	5,702 SF	3,222 SF	4,891 SF	6,112 SF
TOTAL PARCEL SIZE:			18,050 SF	16,260 SF	31,573 SF	32,156 SF



SITE ADDRESS:
425 & 427 W. MISSION AVE.
ESCONDIDO, CA 92025

ASSESSOR'S PARCEL NO.:
229-172-38

OWNER/APPLICANT DEVELOPER:
NLA ACQUISITIONS, LLC.

725 COOL SPRINGS BLVD. STE 600
ADDRESS
FRANKLIN, TN 37067
CITY, STATE, ZIP CODE
(615) 815-1465
PHONE
CHAD WILLIAMS
CONTACT NAME

**CENTRE CITY SHOPPING CENTER
POST DEVELOPMENT DRAINAGE AREA MAP**

Automated Worksheet B.3-1: Project-Scale BMP Feasibility Analysis (V1.1)

Category	#	Description	Value	Units
Capture & Use Inputs	0	Design Capture Volume for Entire Project Site	3,742	cubic-feet
	1	Proposed Development Type	Retail	unitless
	2	Number of Residents or Employees at Proposed Development	30	#
	3	Total Planted Area within Development	19,814	sq-ft
	4	Water Use Category for Proposed Planted Areas	Low	unitless
Infiltration Inputs	5	Is Average Site Infiltration Rate Less than 0.5 Inches per Hour?	Yes	yes/no
	6	Is Retention of the Full DCV Anticipated to Produce Negative Impacts?	Yes	yes/no
	7	Is Retention of Any Volume Anticipated to Produce Negative Impacts?	Yes	yes/no
Calculations	8	36-Hour Toilet Use Per Resident or Employee	0.28	cubic-feet
	9	Subtotal: Anticipated 36 Hour Toilet Use	8	cubic-feet
	10	Anticipated 1 Acre Landscape Use Over 36 Hours	52.14	cubic-feet
	11	Subtotal: Anticipated Landscape Use Over 36 Hours	24	cubic-feet
	12	Total Anticipated Use Over 36 Hours	32	cubic-feet
	13	Total Anticipated Use / Design Capture Volume	0.01	cubic-feet
	14	Are Full Capture and Use Techniques Feasible for this Project?	No	unitless
	15	Is Full Retention Feasible for this Project?	No	yes/no
16	Is Partial Retention Feasible for this Project?	No	yes/no	
Result	17	Feasibility Category	5	1, 2, 3, 4, 5

Worksheet B.3-1 General Notes:

A. Applicants may use this optional worksheet to gauge the feasibility of implementing capture and use techniques on their project site. User input should be provided for yellow shaded cells, values for all other cells will be automatically generated. Projects demonstrating feasibility or potential feasibility via this worksheet are encouraged to incorporate capture and use features in their project.

Automated Worksheet B.1-1: Calculation of Design Capture Volume (V1.1)

Category	#	Description	<i>i</i>	<i>ii</i>	<i>iii</i>	<i>iv</i>	<i>v</i>	<i>vi</i>	<i>vii</i>	<i>viii</i>	<i>ix</i>	<i>x</i>	Units
Standard Drainage Basin Inputs	0	Drainage Basin ID or Name	DMA A	DMA B									unitless
	1	Basin Drains to the Following BMP Type	Biofiltration	Biofiltration									unitless
	2	85th Percentile 24-hr Storm Depth	0.60	0.60									inches
	3	Impervious Surfaces <u>Not Directed to Dispersion Area</u> (C=0.90)	52,182	26,044									sq-ft
	4	Semi-Pervious Surfaces <u>Not Serving as Dispersion Area</u> (C=0.30)											sq-ft
	5	Engineered Pervious Surfaces <u>Not Serving as Dispersion Area</u> (C=0.10)											sq-ft
	6	Natural Type A Soil <u>Not Serving as Dispersion Area</u> (C=0.10)											sq-ft
	7	Natural Type B Soil <u>Not Serving as Dispersion Area</u> (C=0.14)											sq-ft
	8	Natural Type C Soil <u>Not Serving as Dispersion Area</u> (C=0.23)	13,702	6,112									sq-ft
9	Natural Type D Soil <u>Not Serving as Dispersion Area</u> (C=0.30)											sq-ft	
Dispersion, Tree Well, & Rain Barrel Inputs (Optional)	10	Does Tributary Incorporate Dispersion, Tree Wells, and/or Rain Barrels?	No	No	No	No	No	No	No	No	No	No	yes/no
	11	Impervious Surfaces Directed to Dispersion Area per SD-B (Ci=0.90)											sq-ft
	12	Semi-Pervious Surfaces Serving as Dispersion Area per SD-B (Ci=0.30)											sq-ft
	13	Engineered Pervious Surfaces Serving as Dispersion Area per SD-B (Ci=0.10)											sq-ft
	14	Natural Type A Soil Serving as Dispersion Area per SD-B (Ci=0.10)											sq-ft
	15	Natural Type B Soil Serving as Dispersion Area per SD-B (Ci=0.14)											sq-ft
	16	Natural Type C Soil Serving as Dispersion Area per SD-B (Ci=0.23)											sq-ft
	17	Natural Type D Soil Serving as Dispersion Area per SD-B (Ci=0.30)											sq-ft
	18	Number of Tree Wells Proposed per SD-A											#
	19	Average Mature Tree Canopy Diameter											ft
	20	Number of Rain Barrels Proposed per SD-E											#
21	Average Rain Barrel Size											gal	
Final Adjusted Runoff Factor Calculations	22	Total Area Tributary to BMP	65,884	32,156	0	0	0	0	0	0	0	0	sq-ft
	23	Composite Runoff Factor for Standard Drainage Areas	0.76	0.77	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	unitless
	24	Initial Composite Runoff Factor for Dispersed & Dispersion Areas	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	unitless
	25	Total Impervious Area Dispersed to Pervious Surface	0	0	0	0	0	0	0	0	0	0	sq-ft
	26	Total Pervious Dispersion Area	0	0	0	0	0	0	0	0	0	0	sq-ft
	27	Dispersed Impervious Area / Pervious Dispersion Area	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	ratio
	28	Adjustment Factor for Dispersed & Dispersion Areas	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	ratio
	29	Final Adjusted Tributary Runoff Factor	0.76	0.77	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	unitless
Volume Reduction Calculations	30	Final Effective Tributary Area	50,072	24,760	0	0	0	0	0	0	0	0	sq-ft
	31	Initial Design Capture Volume	2,504	1,238	0	0	0	0	0	0	0	0	cubic-feet
	32	Volume Reduction per Tree Well	0	0	0	0	0	0	0	0	0	0	cubic-feet
	33	Total Tree Well Volume Reduction	0	0	0	0	0	0	0	0	0	0	cubic-feet
	34	Total Rain Barrel Volume Reduction	0	0	0	0	0	0	0	0	0	0	cubic-feet
Result	35	Design Capture Volume Tributary to BMP	2,504	1,238	0	0	0	0	0	0	0	0	cubic-feet

Worksheet B.1-1 General Notes:

A. Applicants may use this worksheet to calculate design capture volumes for up to 10 drainage areas. User input must be provided for yellow shaded cells, values for all other cells will be automatically generated, errors/notifications will be highlighted in red and summarized below. Upon completion of this worksheet, proceed to the appropriate BMP Sizing worksheet(s).

B. Impervious surfaces include roofs, concrete, asphalt, or pervious pavements with an impervious liner. Semi-pervious surfaces include decomposed granite, cobbles, crushed aggregate, or compacted soils such as unpaved parking. Engineered pervious surfaces include pervious pavements providing full retention of the 85th percentile rainfall depth, or areas with soils that have been amended and mulched per Section 86.709 of the Landscape Ordinance. Dispersion areas are pervious or semi-pervious surfaces that receive runoff from impervious surfaces (C=0.90) and reduce stormwater runoff as outlined in Fact Sheet SD-B.

Automated Worksheet B.5-1: Sizing Biofiltration BMPs (V1.1)

Category	#	Description	<i>i</i>	<i>ii</i>	<i>iii</i>	<i>iv</i>	<i>v</i>	<i>vi</i>	<i>vii</i>	<i>viii</i>	<i>ix</i>	<i>x</i>	Units
BMP Inputs	0	Drainage Basin ID or Name	DMA A	DMA B	-	-	-	-	-	-	-	-	unitless
	1	Effective Tributary Area	50,072	24,760	-	-	-	-	-	-	-	-	sq-ft
	2	Minimum Biofiltration Footprint Sizing Factor	0.030	0.030	-	-	-	-	-	-	-	-	ratio
	3	Design Capture Volume Tributary to BMP	2,504	1,238	-	-	-	-	-	-	-	-	cubic-feet
	4	Provided Biofiltration Surface Area	3,625	1,804									sq-ft
	5	Provided Surface Ponding Depth	10	10									inches
	6	Provided Soil Media Thickness	18	18									inches
	7	Provided Gravel Storage Thickness	18	18									inches
	8	Hydromodification Orifice Diameter of Underdrain	1.90	1.30									inches
Biofiltration Calculations	9	Max Hydromod Flow Rate through Underdrain	0.184	0.086	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	CFS
	10	Max Soil Filtration Rate Allowed by Underdrain Orifice	2.19	2.07	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	in/hr
	11	Soil Media Filtration Rate	5.00	5.00	5.00	5.00	5.00	5.00	5.00	5.00	5.00	5.00	in/hr
	12	Soil Media Filtration Rate to be used for Sizing	2.19	2.07	5.00	5.00	5.00	5.00	5.00	5.00	5.00	5.00	in/hr
	13	Depth Biofiltered Over 6 Hour Storm	13.13	12.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	inches
	14	Soil Media Pore Space	0.30	0.30	0.30	0.30	0.30	0.30	0.30	0.30	0.30	0.30	unitless
	15	Gravel Pore Space	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	unitless
	16	Effective Depth of Biofiltration Storage	22.6	22.6	0	0	0	0	0	0	0	0	inches
	17	Drawdown Time for Surface Ponding	5	5	0	0	0	0	0	0	0	0	hours
	18	Drawdown Time for Entire Biofiltration Basin	10	11	0	0	0	0	0	0	0	0	hours
	19	Total Depth Biofiltered	35.73	35.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	inches
	20	Option 1 - Biofilter 1.50 DCV: Target Volume	3,756	1,857	0	0	0	0	0	0	0	0	cubic-feet
	21	Option 1 - Provided Biofiltration Volume	3,756	1,857	0	0	0	0	0	0	0	0	cubic-feet
	22	Option 2 - Store 0.75 DCV: Target Volume	1,878	929	0	0	0	0	0	0	0	0	cubic-feet
	23	Option 2 - Provided Storage Volume	1,878	929	0	0	0	0	0	0	0	0	cubic-feet
	24	Percentage of Performance Requirement Satisfied	1.00	1.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	ratio
Result	25	Deficit of Effectively Treated Stormwater	0	0	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	cubic-feet

Worksheet B.5-1 General Notes:

A. Applicants may use this worksheet to size Lined Biofiltration BMPs (BF-1) for up to 10 basins. User input must be provided for yellow shaded cells, values for blue cells are automatically populated based on user inputs from previous worksheets, values for all other cells will be automatically generated, errors/notifications will be highlighted in red and summarized below. BMPs fully satisfying the pollutant control performance standards will have a deficit treated volume of zero and be highlighted in green.

Summary of Stormwater Pollutant Control Calculations (V1.1)

Category	Description	<i>i</i>	<i>ii</i>	<i>iii</i>	<i>iv</i>	<i>v</i>	<i>vi</i>	<i>vii</i>	<i>viii</i>	<i>ix</i>	<i>x</i>	Units
Drainage Basin Inputs	Drainage Basin ID or Name	DMA A	DMA B	-	-	-	-	-	-	-	-	unitless
	Total Area Tributary to BMP	65,884	32,156	-	-	-	-	-	-	-	-	sq-ft
	Composite Runoff Factor for Standard Drainage Areas	0.76	0.77	-	-	-	-	-	-	-	-	unitless
	85th Percentile 24-hr Storm Depth	0.6	0.6	-	-	-	-	-	-	-	-	inches
	Initial Design Capture Volume	2,504	1,238	-	-	-	-	-	-	-	-	cubic-feet
Volume Reductions	Final Adjusted Tributary Runoff Factor	0.76	0.77	-	-	-	-	-	-	-	-	unitless
	Final Effective Tributary Area	50,072	24,760	-	-	-	-	-	-	-	-	sq-ft
	Tree Well and Rain Barrel Reductions	0	0	-	-	-	-	-	-	-	-	cubic-feet
	Design Capture Volume Tributary to BMP	2,504	1,238	-	-	-	-	-	-	-	-	cubic-feet
BMP Sizing	Basin Drains to the Following BMP Type	Biofiltration	Biofiltration	-	-	-	-	-	-	-	-	unitless
	Deficit of Effectively Treated Stormwater	0	0	-	-	-	-	-	-	-	-	cubic-feet

Summary Notes:

All fields in this summary worksheet are populated based on previous user inputs. Drainage basins achieving full compliance with performance requirements for onsite pollutant control are highlighted in green. Drainage basins not achieving full compliance are highlighted in red and summarized below. Please note that drainage areas using De Minimis, Self-Mitigating, and/or Self-Retaining classifications may be required to provide additional supporting information.

-Congratulations, all specified drainage basins and BMPs are in compliance with stormwater pollutant control requirements. Include 11x17 color prints of this summary sheet and supporting worksheet calculations as part of the SWQMP submittal package.

E.1 Source Control BMP Requirements

Worksheet E.1-1: Source Control BMP Requirements

How to comply: Projects must comply with this requirement by implementing all source control BMPs listed in this section that are applicable and feasible for their project. Applicability must be determined through consideration of the development project's features and anticipated pollutant sources. Appendix E.1 provides guidance for identifying source control BMPs applicable to a project. The Standard and PDP SWQMP templates include sections that must be used to document compliance with source control BMP requirements.

How to use this worksheet:

1. Review Column 1 and identify which of these potential sources of storm water pollutants apply to your site. Check each box that applies.
2. Review Column 2 and incorporate all of the corresponding applicable BMPs in your project site plan.
3. Review Columns 3 and 4 and incorporate all of the corresponding applicable permanent controls and operational BMPs in a table in your project-specific storm water management report. Describe your specific BMPs in an accompanying narrative, and explain any special conditions or situations that required omitting BMPs or substituting alternatives.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP Must Consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input checked="" type="checkbox"/> A. Onsite storm drain inlets <input type="checkbox"/> Not Applicable	<input checked="" type="checkbox"/> Locations of inlets.	<input checked="" type="checkbox"/> Mark all inlets with the words “No Dumping! Flows to Bay” or similar. See stencil template provided in Appendix I-4	<input checked="" type="checkbox"/> Maintain and periodically repaint or replace inlet markings. <input checked="" type="checkbox"/> Provide storm water pollution prevention information to new site owners, lessees, or operators. <input checked="" type="checkbox"/> See applicable operational BMPs in Fact Sheet SC-44, “Drainage System Maintenance,” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook . <input checked="" type="checkbox"/> Include the following in lease agreements: “Tenant shall not allow anyone to discharge anything to storm drains or to store or deposit materials so as to create a potential discharge to storm drains.”

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input type="checkbox"/> B. Interior floor drains and elevator shaft sump pumps <input checked="" type="checkbox"/> Not Applicable		<input type="checkbox"/> State that interior floor drains and elevator shaft sump pumps will be plumbed to sanitary sewer.	<input type="checkbox"/> Inspect and maintain drains to prevent blockages and overflow.
<input type="checkbox"/> C. Interior parking garages <input checked="" type="checkbox"/> Not Applicable		<input type="checkbox"/> State that parking garage floor drains will be plumbed to the sanitary sewer.	<input type="checkbox"/> Inspect and maintain drains to prevent blockages and overflow.
<input type="checkbox"/> D1. Need for future indoor & structural pest control <input checked="" type="checkbox"/> Not Applicable		<input type="checkbox"/> Note building design features that discourage entry of pests.	<input type="checkbox"/> Provide Integrated Pest Management information to owners, lessees, and operators.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input checked="" type="checkbox"/> D2. Landscape/Outdoor Pesticide Use <input type="checkbox"/> Not Applicable	<input checked="" type="checkbox"/> Show locations of existing trees or areas of shrubs and ground cover to be undisturbed and retained. <input type="checkbox"/> Show self-retaining landscape areas, if any. <input checked="" type="checkbox"/> Show storm water treatment facilities.	<p>State that final landscape plans will accomplish all of the following.</p> <input checked="" type="checkbox"/> Preserve existing drought tolerant trees, shrubs, and ground cover to the maximum extent possible. <input checked="" type="checkbox"/> Design landscaping to minimize irrigation and runoff, to promote surface infiltration where appropriate, and to minimize the use of fertilizers and pesticides that can contribute to storm water pollution. <input checked="" type="checkbox"/> Where landscaped areas are used to retain or detain storm water, specify plants that are tolerant of periodic saturated soil conditions. <input type="checkbox"/> Consider using pest-resistant plants, especially adjacent to hardscape. <input checked="" type="checkbox"/> To ensure successful establishment, select plants appropriate to site soils, slopes, climate, sun, wind, rain, land use, air movement, ecological consistency, and plant interactions.	<input checked="" type="checkbox"/> Maintain landscaping using minimum or no pesticides. <input type="checkbox"/> See applicable operational BMPs in Fact Sheet SC-41, “Building and Grounds Maintenance,” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook . <input type="checkbox"/> Provide IPM information to new owners, lessees and operators.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input type="checkbox"/> E. Pools, spas, ponds, decorative fountains, and other water features. <input checked="" type="checkbox"/> Not Applicable	<input type="checkbox"/> Show location of water feature and a sanitary sewer cleanout in an accessible area within 10 feet.	<input type="checkbox"/> If the local municipality requires pools to be plumbed to the sanitary sewer, place a note on the plans and state in the narrative that this connection will be made according to local requirements.	<input type="checkbox"/> See applicable operational BMPs in Fact Sheet SC-72, “Fountain and Pool Maintenance,” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook .
<input checked="" type="checkbox"/> F. Food service <input type="checkbox"/> Not Applicable	<input checked="" type="checkbox"/> For restaurants, grocery stores, and other food service operations, show location (indoors or in a covered area outdoors) of a floor sink or other area for cleaning floor mats, containers, and equipment. <input checked="" type="checkbox"/> On the drawing, show a note that this drain will be connected to a grease interceptor before discharging to the sanitary sewer.	<input checked="" type="checkbox"/> Describe the location and features of the designated cleaning area. <input checked="" type="checkbox"/> Describe the items to be cleaned in this facility and how it has been sized to ensure that the largest items can be accommodated.	

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<ul style="list-style-type: none"> <input checked="" type="checkbox"/> G. Refuse areas <input type="checkbox"/> Not Applicable 	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Show where site refuse and recycled materials will be handled and stored for pickup. See local municipal requirements for sizes and other details of refuse areas. <input checked="" type="checkbox"/> If dumpsters or other receptacles are outdoors, show how the designated area will be covered, graded, and paved to prevent run-on and show locations of berms to prevent runoff from the area. Also show how the designated area will be protected from wind dispersal. <input checked="" type="checkbox"/> Any drains from dumpsters, compactors, and tallow bin areas must be connected to a grease removal device before discharge to sanitary sewer. 	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> State how site refuse will be handled and provide supporting detail to what is shown on plans. <input checked="" type="checkbox"/> State that signs will be posted on or near dumpsters with the words “Do not dump hazardous materials here” or similar. 	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> State how the following will be implemented: Provide adequate number of receptacles. Inspect receptacles regularly; repair or replace leaky receptacles. Keep receptacles covered. Prohibit/prevent dumping of liquid or hazardous wastes. Post “no hazardous materials” signs. Inspect and pick up litter daily and clean up spills immediately. Keep spill control materials available on-site. See Fact Sheet SC-34, “Waste Handling and Disposal” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative Table and Narrative
<input type="checkbox"/> H. Industrial processes. <input checked="" type="checkbox"/> Not Applicable	<input type="checkbox"/> Show process area.	<input type="checkbox"/> If industrial processes are to be located onsite, state: “All process activities to be performed indoors. No processes to drain to exterior or to storm drain system.”	<input type="checkbox"/> See Fact Sheet SC-10, “Non-Storm Water Discharges” in the CASQA Storm Water Quality Handbooks at https://www.casqa.org/resources/bmp-handbooks .
<input type="checkbox"/> I. Outdoor storage of equipment or materials. (See rows J and K for source control measures for vehicle cleaning, repair, and maintenance.) <input checked="" type="checkbox"/> Not Applicable	<input type="checkbox"/> Show any outdoor storage areas, including how materials will be covered. Show how areas will be graded and bermed to prevent run-on or runoff from area and protected from wind dispersal. <input type="checkbox"/> Storage of non-hazardous liquids must be covered by a roof and/or drain to the sanitary sewer system, and be contained by berms, dikes, liners, or vaults. <input type="checkbox"/> Storage of hazardous materials and wastes must be in compliance with the local hazardous materials ordinance and a Hazardous Materials Management Plan for the site.	<input type="checkbox"/> Include a detailed description of materials to be stored, storage areas, and structural features to prevent pollutants from entering storm drains. Where appropriate, reference documentation of compliance with the requirements of local Hazardous Materials Programs for: <ul style="list-style-type: none"> ▪ Hazardous Waste Generation ▪ Hazardous Materials Release Response and Inventory ▪ California Accidental Release Prevention Program ▪ Aboveground Storage Tank ▪ Uniform Fire Code Article 80 Section 103(b) & (c) 1991 ▪ Underground Storage Tank 	<input type="checkbox"/> See the Fact Sheets SC-31, “Outdoor Liquid Container Storage” and SC-33, “Outdoor Storage of Raw Materials” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook .

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input checked="" type="checkbox"/> J. Vehicle and Equipment Cleaning <input type="checkbox"/> Not Applicable	<input checked="" type="checkbox"/> Show on drawings as appropriate: (1) Commercial/industrial facilities having vehicle /equipment cleaning needs must either provide a covered, bermed area for washing activities or discourage vehicle/equipment washing by removing hose bibs and installing signs prohibiting such uses. (2) Multi-dwelling complexes must have a paved, bermed, and covered car wash area (unless car washing is prohibited onsite and hoses are provided with an automatic shut-off to discourage such use). (3) Washing areas for cars, vehicles, and equipment must be paved, designed to prevent run-on to or runoff from the area, and plumbed to drain to the sanitary sewer. (4) Commercial car wash facilities must be designed such that no runoff from the facility is discharged to the storm drain system. Wastewater from the facility must discharge to the sanitary sewer, or a wastewater reclamation system must be installed.	<input checked="" type="checkbox"/> If a car wash area is not provided, describe measures taken to discourage onsite car washing and explain how these will be enforced.	Describe operational measures to implement the following (if applicable): <input checked="" type="checkbox"/> Washwater from vehicle and equipment washing operations must not be discharged to the storm drain system. <input checked="" type="checkbox"/> Car dealerships and similar may rinse cars with water only. <input checked="" type="checkbox"/> See Fact Sheet SC-21, “Vehicle and Equipment Cleaning,” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook .

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<ul style="list-style-type: none"> <input type="checkbox"/> K. Vehicle/Equipment Repair and Maintenance <input checked="" type="checkbox"/> Not Applicable 	<ul style="list-style-type: none"> <input type="checkbox"/> Accommodate all vehicle equipment repair and maintenance indoors. Or designate an outdoor work area and design the area to protect from rainfall, run-on runoff, and wind dispersal. <input type="checkbox"/> Show secondary containment for exterior work areas where motor oil, brake fluid, gasoline, diesel fuel, radiator fluid, acid-containing batteries or other hazardous materials or hazardous wastes are used or stored. Drains must not be installed within the secondary containment areas. <input type="checkbox"/> Add a note on the plans that states either (1) there are no floor drains, or (2) floor drains are connected to wastewater pretreatment systems prior to discharge to the sanitary sewer and an industrial waste discharge permit will be obtained. 	<ul style="list-style-type: none"> <input type="checkbox"/> State that no vehicle repair or maintenance will be done outdoors, or else describe the required features of the outdoor work area. <input type="checkbox"/> State that there are no floor drains or if there are floor drains, note the agency from which an industrial waste discharge permit will be obtained and that the design meets that agency's requirements. <input type="checkbox"/> State that there are no tanks, containers or sinks to be used for parts cleaning or rinsing or, if there are, note the agency from which an industrial waste discharge permit will be obtained and that the design meets that agency's requirements. 	<p>In the report, note that all of the following restrictions apply to use the site:</p> <ul style="list-style-type: none"> <input type="checkbox"/> No person must dispose of, nor permit the disposal, directly or indirectly of vehicle fluids, hazardous materials, or rinsewater from parts cleaning into storm drains. <input type="checkbox"/> No vehicle fluid removal must be performed outside a building, nor on asphalt or ground surfaces, whether inside or outside a building, except in such a manner as to ensure that any spilled fluid will be in an area of secondary containment. Leaking vehicle fluids must be contained or drained from the vehicle immediately. <input type="checkbox"/> No person must leave unattended drip parts or other open containers containing vehicle fluid, unless such containers are in use or in an area of secondary containment.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<ul style="list-style-type: none"> <input type="checkbox"/> L. Fuel Dispensing Areas <input checked="" type="checkbox"/> Not Applicable 	<ul style="list-style-type: none"> <input type="checkbox"/> Fueling areas¹⁶ must have impermeable floors (i.e., portland cement concrete or equivalent smooth impervious surface) that are (1) graded at the minimum slope necessary to prevent ponding; and (2) separated from the rest of the site by a grade break that prevents run-on of storm water to the MEP. <input type="checkbox"/> Fueling areas must be covered by a canopy that extends a minimum of ten feet in each direction from each pump. [Alternative: The fueling area must be covered and the cover’s minimum dimensions must be equal to or greater than the area within the grade break or fuel dispensing area1.] The canopy [or cover] must not drain onto the fueling area. 		<ul style="list-style-type: none"> <input type="checkbox"/> The property owner must dry sweep the fueling area routinely. <input type="checkbox"/> See the Business Guide Sheet, “Automotive Service—Service Stations” in the CASQA Storm Water Quality Handbooks at https://www.casqa.org/resources/bmp-handbooks.

¹⁶ The fueling area must be defined as the area extending a minimum of 6.5 feet from the corner of each fuel dispenser or the length at which the hose and nozzle assembly may be operated plus a minimum of one foot, whichever is greater.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in	4 Operational BMPs—Include in Table and Narrative
<p>M. Loading Docks</p> <p><input checked="" type="checkbox"/> Not Applicable</p>	<ul style="list-style-type: none"> <input type="checkbox"/> Show a preliminary design for the loading dock area, including roofing and drainage. Loading docks must be covered and/or graded to minimize run-on to and runoff from the loading area. Roof downspouts must be positioned to direct storm water away from the loading area. Water from loading dock areas should be drained to the sanitary sewer where feasible. Direct connections to storm drains from depressed loading docks are prohibited. <input type="checkbox"/> Loading dock areas draining directly to the sanitary sewer must be equipped with a spill control valve or equivalent device, which must be kept closed during periods of operation. <input type="checkbox"/> Provide a roof overhang over the loading area or install door skirts (cowling) at each bay that enclose the end of the trailer. 		<ul style="list-style-type: none"> <input type="checkbox"/> Move loaded and unloaded items indoors as soon as possible. <input type="checkbox"/> See Fact Sheet SC-30, “Outdoor Loading and Unloading,” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook.

If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input checked="" type="checkbox"/> N. Fire Sprinkler Test Water <input type="checkbox"/> Not Applicable		<input checked="" type="checkbox"/> Provide a means to drain fire sprinkler test water to the sanitary sewer.	<input checked="" type="checkbox"/> See the note in Fact Sheet SC-41, “Building and Grounds Maintenance,” in the CASQA Storm Water Quality Handbooks at www.casqa.org/resources/bmp-handbooks/municipal-bmp-handbook
<input type="checkbox"/> O. Miscellaneous Drain or Wash Water <input type="checkbox"/> Boiler drain lines <input type="checkbox"/> Condensate drain lines <input type="checkbox"/> Rooftop equipment <input type="checkbox"/> Drainage sumps <input type="checkbox"/> Roofing, gutters, and trim <input checked="" type="checkbox"/> Not Applicable		<input type="checkbox"/> Boiler drain lines must be directly or indirectly connected to the sanitary sewer system and may not discharge to the storm drain system. <input type="checkbox"/> Condensate drain lines may discharge to landscaped areas if the flow is small enough that runoff will not occur. Condensate drain lines may not discharge to the storm drain system. <input type="checkbox"/> Rooftop mounted equipment with potential to produce pollutants must be roofed and/or have secondary containment. <input type="checkbox"/> Any drainage sumps onsite must feature a sediment sump to reduce the quantity of sediment in pumped water. <input type="checkbox"/> Avoid roofing, gutters, and trim made of copper or other unprotected metals that may leach into runoff.	

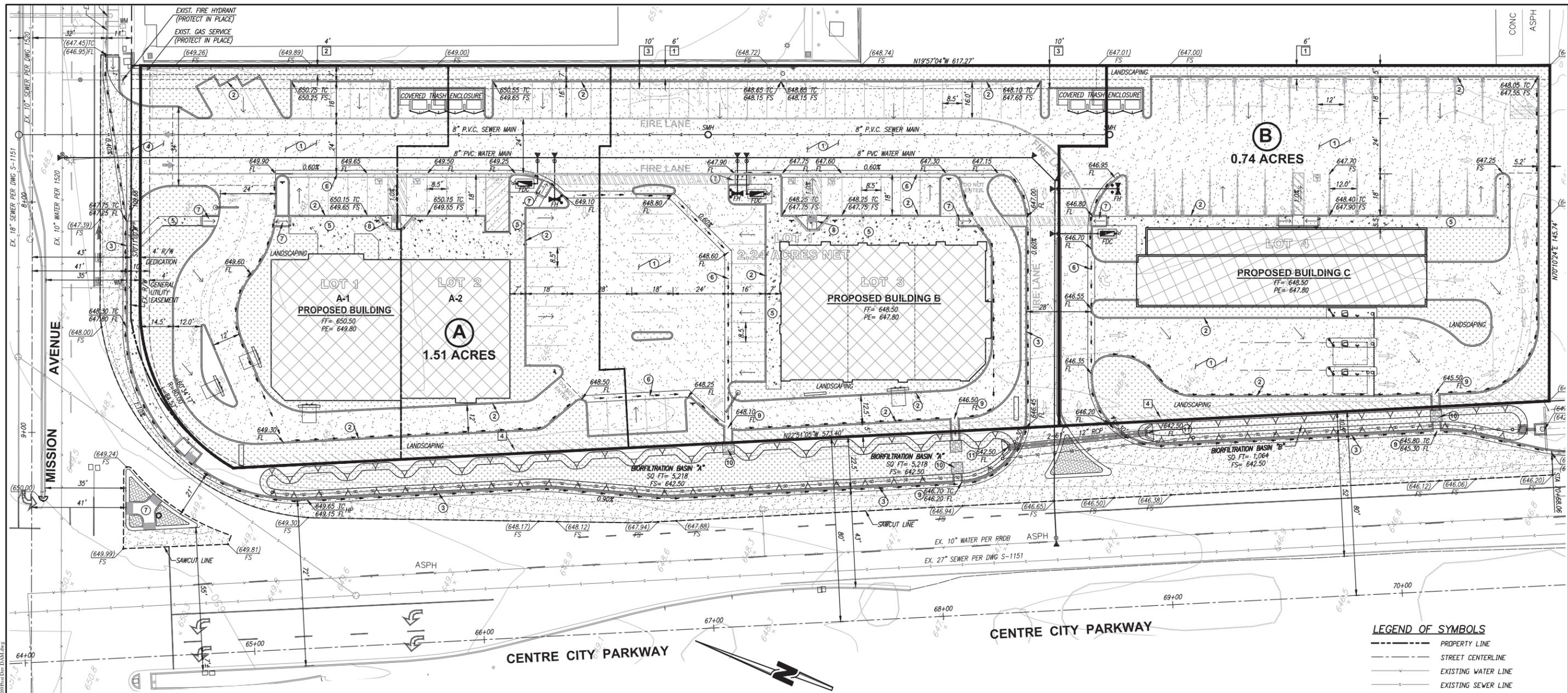
If These Sources Will Be on the Project Site ...	... Then Your SWQMP must consider These Source Control BMPs		
1 Potential Sources of Runoff Pollutants	2 Permanent Controls—Show on Drawings	3 Permanent Controls—List in Table and Narrative	4 Operational BMPs—Include in Table and Narrative
<input checked="" type="checkbox"/> P. Plazas, sidewalks, and parking lots. <input type="checkbox"/> Not Applicable			<input checked="" type="checkbox"/> Plazas, sidewalks, and parking lots must be swept regularly to prevent the accumulation of litter and debris. Debris from pressure washing must be collected to prevent entry into the storm drain system. Washwater containing any cleaning agent or degreaser must be collected and discharged to the sanitary sewer and not discharged to a storm drain.

ATTACHMENT 2

BACKUP FOR PDP HYDROMODIFICATION CONTROL MEASURES

Indicate which Items are Included behind this cover sheet:

Attachment Sequence	Contents	Checklist
Attachment 2a	Hydromodification Management	X Included
Attachment 2b	<p>Management of Critical Coarse Sediment Yield Areas (WMAA Exhibit is required, additional analyses are optional)</p> <p>Form I-7 Downstream Systems Requirements for Preservation of Coarse Sediment Supply</p>	<p>X Exhibit showing project drainage boundaries marked on WMAA Critical Coarse Sediment Yield Area Map (Required)</p> <p><input type="checkbox"/> Included</p> <p>X Not Included (Not Applicable) Sensitivity to Coarse Sediment</p>
Attachment 2c	Geomorphic Assessment of Receiving Channels (Optional)	<p>X Not performed</p> <p><input type="checkbox"/> Included</p>
Attachment 2d	Flow Control Facility Design and Structural BMP Drawdown Calculations (Required)	X Included

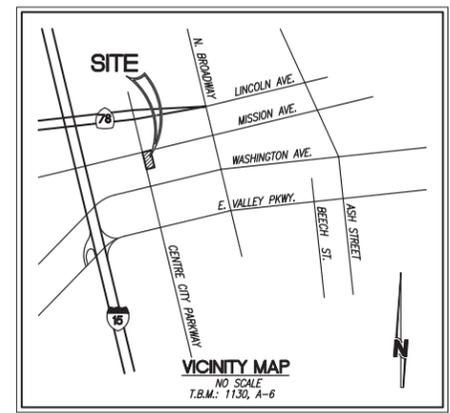
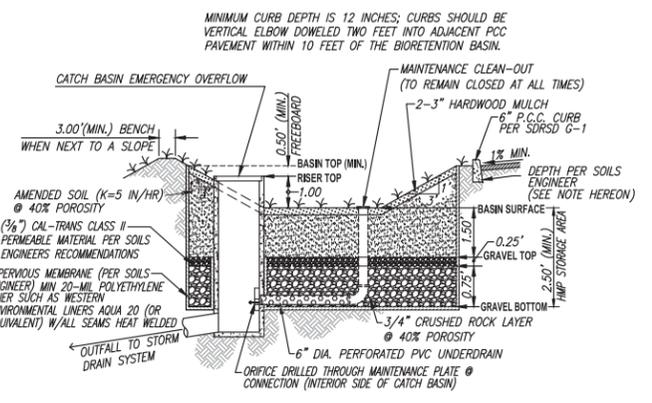
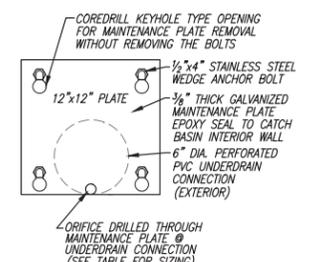
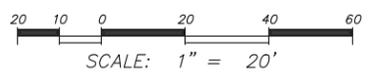


LEGEND OF SYMBOLS

- PROPERTY LINE
- STREET CENTERLINE
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- - - EXISTING CONTOURS
- - - SAWCUT LINE

DRAINAGE MANAGEMENT AREA TABLE

SYMBOL	PROPOSED SURFACE	SOIL TYPE	LOT 1	LOT 2	LOT 3	LOT 4
[Symbol]	ROOFTOPS	"C"	3,831 SF	2,678 SF	5,205 SF	4,290 SF
[Symbol]	PROPOSED NEW A.C. PAVEMENT	"C"	7,622 SF	9,153 SF	19,970 SF	20,808 SF
[Symbol]	CONCRETE WALKWAYS, HARDSCAPE, ETC.	"C"	895 SF	1,207 SF	1,507 SF	946 SF
[Symbol]	LANDSCAPING	"C"	5,702 SF	3,222 SF	4,891 SF	6,112 SF
TOTAL PARCEL SIZE:			18,050 SF	16,260 SF	31,573 SF	32,156 SF



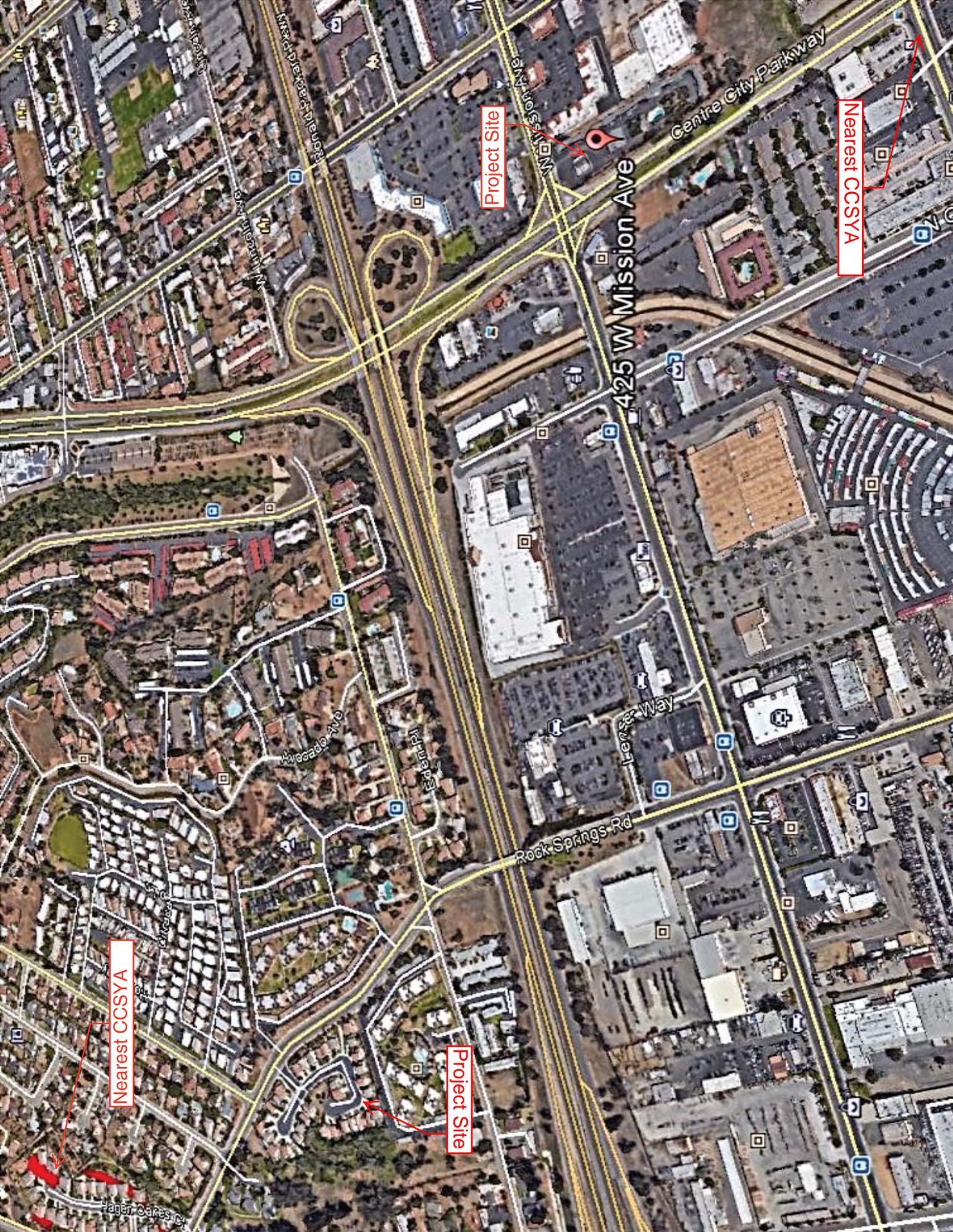
SITE ADDRESS:
425 & 427 W. MISSION AVE.
ESCONDIDO, CA 92025

ASSESSOR'S PARCEL NO.:
229-172-38

OWNER/APPLICANT DEVELOPER:
NLA ACQUISITIONS, LLC.

725 COOL SPRINGS BLVD. STE 600
ADDRESS
FRANKLIN, TN 37067
CITY, STATE, ZIP CODE
(615) 815-1465
PHONE
CHAD WILLIAMS
CONTACT NAME

**CENTRE CITY SHOPPING CENTER
POST DEVELOPMENT DRAINAGE AREA MAP**



Project Site

Nearest CCSYA

Nearest CCSYA

Project Site

425 W Mission Ave

Centre City Parkway

Rock Springs Rd

Letner Way

Hecabo Ave

Hagen Cores rd

BMP Sizing Spreadsheet V1.04

Project Name:	425 & 427 W. Mission Ave
Project Applicant:	NLA Acquisitions, LLC
Jurisdiction:	City of Escondido
Parcel (APN):	229-172-38
Hydrologic Unit:	Carlsbad
Rain Gauge:	Oceanside
Total Project Area (sf):	98040
Channel Susceptibility:	Low

BMP Sizing Spreadsheet V1.04			
Project Name:	25 & 427 W. Mission Av	Hydrologic Unit:	Carlsbad
Project Applicant:	NLA Acquisitions, LLC	Rain Gauge:	Oceanside
Jurisdiction:	City of Escondido	Total Project Area:	98040
Parcel (APN):	229-172-38	Low Flow Threshold:	0.5Q2
BMP Name	DMA A	BMP Type:	Bioretention

DMA Name	Rain Gauge	Existing Condition			Q2 Sizing Factor (cfs/ac)	DMA Area (ac)	Orifice Flow - %Q ₂ (cfs)	Orifice Area (in ²)
		Soil Type	Cover	Slope				
DMA A	Oceanside	C	Scrub	Flat	0.146	0.268	0.020	0.48
DMA A	Oceanside	C	Scrub	Flat	0.146	0.844	0.062	1.50
DMA A	Oceanside	C	Scrub	Flat	0.146	0.086	0.006	0.15
DMA A	Oceanside	C	Scrub	Flat	0.146	0.315	0.023	0.56

0.110	2.70	1.85
Tot. Allowable Orifice Flow (cfs)	Tot. Allowable Orifice Area (in ²)	Max Orifice Diameter (in)

0.110	2.69	1.85
Actual Orifice Flow (cfs)	Actual Orifice Area (in ²)	Selected Orifice Diameter (in)

Drawdown (Hrs)	7.6
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BMP Sizing Spreadsheet V1.04			
Project Name:	425 & 427 W. Mission Ave	Hydrologic Unit:	Carlsbad
Project Applicant:	NLA Acquisitions, LLC	Rain Gauge:	Oceanside
Jurisdiction:	City of Escondido	Total Project Area:	98040
Parcel (APN):	229-172-38	Low Flow Threshold:	0.5Q2
BMP Name:	DMA B	BMP Type:	Bioretention
BMP Native Soil Type:	C	BMP Infiltration Rate (in/hr):	0.08

Areas Draining to BMP						HMP Sizing Factors			Minimum BMP Size			
DMA Name	Area (sf)	Soil Type	Slope	Post Project Surface Type	Runoff Factor (Table 4-2)	Surface Area	Surface Volume	Subsurface Volume	Surface Area (sf)	Surface Volume (cf)	Subsurface Volume (cf)	
DMA B	4290	C	Flat	Roof	0.9	0.075	0.0625	0.045	290	241	174	
DMA B	20808	C	Flat	AC	0.9	0.075	0.0625	0.045	1405	1170	843	
DMA B	946	C	Flat	Hardscape	0.9	0.075	0.0625	0.045	64	53	38	
DMA B	6112	C	Flat	Landscape	0.1	0.075	0.0625	0.045	46	38	28	
Total BMP Area	32156								Minimum BMP Size	1803.81	1503	1082
									Proposed BMP Size*	1804	1503	1082
									Soil Matrix Depth	18.00	in	
									Minimum Ponding Depth	10.00	in	
									Maximum Ponding Depth	123.05	in	
									Selected Ponding Depth	10.00	in	

Describe the BMP's in sufficient detail in your SWMP to demonstrate the area, volume, and other criteria can be met within the constraints of the site.

BMP's must be adapted and applied to the conditions specific to the development project such as unstable slopes or the lack of available head. Designated Staff have final review and approval authority over the project design.

This Sizing Calculator has been developed in compliance with the Countywide Model SUSMP. For questions or concerns please contact the jurisdiction in which your project is located.

BMP Sizing Spreadsheet V1.04			
Project Name:	25 & 427 W. Mission Av	Hydrologic Unit:	Carlsbad
Project Applicant:	NLA Acquisitions, LLC	Rain Gauge:	Oceanside
Jurisdiction:	City of Escondido	Total Project Area:	98040
Parcel (APN):	229-172-38	Low Flow Threshold:	0.5Q2
BMP Name	DMA B	BMP Type:	Bioretention

DMA Name	Rain Gauge	Existing Condition			Q2 Sizing Factor (cfs/ac)	DMA Area (ac)	Orifice Flow - %Q ₂ (cfs)	Orifice Area (in ²)
		Soil Type	Cover	Slope				
DMA B	Oceanside	C	Scrub	Flat	0.146	0.098	0.007	0.18
DMA B	Oceanside	C	Scrub	Flat	0.146	0.478	0.035	0.85
DMA B	Oceanside	C	Scrub	Flat	0.146	0.022	0.002	0.04
DMA B	Oceanside	C	Scrub	Flat	0.146	0.140	0.010	0.25

0.054	1.32	1.29
Tot. Allowable Orifice Flow (cfs)	Tot. Allowable Orifice Area (in²)	Max Orifice Diameter (in)

0.054	1.31	1.29
Actual Orifice Flow (cfs)	Actual Orifice Area (in²)	Selected Orifice Diameter (in)

Drawdown (Hrs)	7.8
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ATTACHMENT 3

**Structural BMP Maintenance
Information**

OPERATION & MAINTENANCE (O&M) PLAN

1. Contents

1. PROJECT DESCRIPTION.....	1
2. OPERATION & MAINTENANCE (O&M) PLAN	1
3. Operation & Maintenance of BMP'S	1
A. Training	2
B. Landscaping	2
C. Irrigation System	5
D. Roof Drains	5
E. Storm Water Conveyance System Stenciling and Signing.....	5
F. Structural BMP: Biofiltration	7
G. Outlet Structures	9
H. Vector Control Owner Responsibilities.....	9

ATTACHMENTS

A1. Inspection & Maintenance Schedule

B1. Cost Estimate

C1. BMP Training Log

D1. Inspection & Maintenance Log

E1. Bmp Information Inserts

1. PROJECT DESCRIPTION

Project consists of demolishing existing Restaurant, Hotel and parking lot currently on the site and splitting the parcel into four parcels with four one story buildings. The proposed use would include two restaurants, two retail and one indoor carwash facility. Each building will have its own covered trash enclosure.

2. OPERATION & MAINTENANCE (O&M) PLAN

This document has been prepared in compliance with the San Diego Regional Water Quality Control Board requirements and in accordance with requirements set by the City. A Storm Water Quality Management Plan (SWQMP) has been prepared for the project. It identifies the specific Best Management Practices (BMPs) required for the project. Refer to this project's SWQMP for additional information on BMPs. Proper maintenance of the project BMP's is required for their intended and effective function. This O&M Plan provides operation and maintenance procedures for the BMPs designated in the SWQMP. It includes procedures to be followed for inspection and maintenance of the BMPs, instructions for documenting the work performed, record keeping, and outlining the requirement and procedures for training of personnel involved in the process.

3. Operation & Maintenance of BMP'S

It shall be the responsibility of the "Owner or Designated Responsible Party" to maintain and to train all employees for the maintenance and operation of all BMPs, to achieve the maximum pollutant reduction they are designed for, as addressed in the approved Project's SWQMP. The following schedule of O&M's must be followed to satisfy the Conditions of Concern and the Pollutants of Concern as addressed in the approved Project's SWQMP. This schedule shall include periodic inspections of all Source Control and Treatment Control BMP's. All maintenance records for training, inspection and maintenance shall be retained and provided to the city or county upon request.

The owner may also be required to provide to the City, as part of the maintenance and operation agreement an executed access easement that shall be binding on the land throughout the life of the project.

Responsible Party for O&M and For Training

NLA Acquisitions, LLC
Attn: Chad Williams
725 Cool Springs Blvd., Suite 600
Franklin, TN 37067
Phone: (615) 815-1465
Email: cwilliams@netleasealliance.com

The Designated Responsible Party will be responsible for ensuring that individuals involved in O&M activities, including but not limited to contractors and new owners, will be trained according to the training program herein. Additionally, upon any future sale of the property, the Owner will be responsible for ensuring that the new Designated Responsible Party is familiar with the contents of the plan and the requirements for the routine inspection, routine and non-routine maintenance and record keeping tasks as described herein. All parties involved in the O&M activities will be required to read this plan.

A. Training

Personnel training is an important component of the Implementation of this O&M Plan. The employee training program may consist of a meeting with any new owners, Designated Responsible Party or contractor/employees Involved in the O&M activities to review the contents of this plan and to physically tour the facility to observe the BMPs and describe O&M requirements for each BMP. The Designated Responsible Party will implement the training program. All new contractors involved in landscape and/or facility maintenance at the site shall receive training within 30-days of hire and shall receive updated annual training. Maintenance contractor shall verify staff training annually.

The Designated Responsible Party shall be responsible for documenting all training activities and for maintaining records related to training. Forms for documentation of training are included in Attachment C1 of this plan. Training records must be shall be retained and provided to the city upon request.

B. Landscaping

Operational and maintenance needs include:

- Vegetation management to maintain adequate drainage and to limit habitat for mosquitoes, rodents and other disease-carrying vectors.
- Parking lot sweeping.
- Animal and vector control (any method to limit or eradicate the mammals, birds, insects or other arthropods which transmit disease pathogens).
- Periodic sediment removal to optimize performance.
- Trash, debris, grass trimmings, tree pruning, and leaf collection and removal to prevent obstruction of landscape areas so as not to prohibit their use as a BMP.
- Monitoring irrigation equipment.
- Removal of standing water, which may contribute to the development of aquatic plant communities or mosquito breeding areas.
- Preventive maintenance on sampling, flow measurement, and associated BMP equipment and structures.
- Erosion and structural maintenance to prevent the loss of soil and maintain the performance of all landscaping.

Inspection Frequency

The facility will be inspected and inspection visits will be completely documented:

- Once a month at a minimum.
- After every large storm (after every storm monitored or these storms with more than 0.50 inch of precipitation.)
- On a weekly basis during extended periods of wet weather.

Inspect for proper irrigation and fertilizer use, and ensure that all landscaped areas have minimum of 80% coverage.

Visual Inspection as part of landscape maintenance

- Inspect before and after the rainy season (Prior to August 31).

Aesthetic Maintenance

The following activities will be included in the aesthetic maintenance program:

Grass Trimming: Trimming of grass will be done on all landscaped areas, around fences, at the inlet and outlet structures, and sampling structures.

Weed Control. Weeds will be removed through mechanical means. Herbicide shall not be used because these chemicals will impact the water quality monitoring.

Functional Maintenance

Functional maintenance has two components:

- Preventive maintenance
- Corrective maintenance

Preventive Maintenance

Preventive maintenance activities to be instituted for landscaped areas are:

- **Grass Mowing:** Vegetation seed, mix within the landscaped areas, are to be designed to be kept short to maintain adequate drainage and to limit the development of faunal habitats.
- **Prohibitive dumping placards.**
- **Trash and Debris:** During each inspection and maintenance visit to the site, debris and trash removal will be conducted to reduce the potential for inlet and outlet structures and other components from becoming clogged and inoperable during storm events.
- **Sediment Removal:** Sediment accumulation, as part of the operation and maintenance program at of landscaped areas, will be monitored once a month during the dry season, after every large storm (0.50 inch), and monthly during the wet season. Specifically, if sediment reaches a level at or near plant height, or could interfere with flow or operation, the sediment will be removed. If accumulation of debris or sediment is determined to be the cause of decline in design performance, prompt action (i.e., within ten working days) will be taken to restore the landscaped areas to design performance standards. Actions will include using additional fill and vegetation and/or removing accumulated sediment to correct channeling or ponding. Characterization and Appropriate disposal of sediment will comply with applicable local,

county, state, or federal requirements. The landscaped areas will be re-graded, if the flow gradient has changed, and then replanted with sod.

- Removal of Standing Water: Standing water must be removed if it contributes to the development of aquatic plant communities or mosquito breeding areas.
- Fertilization and Irrigation: The vegetation seed mix is to be designed so that fertilization and irrigation is to be kept at a minimum.
- Elimination of Mosquito Breeding Habitats. The most effective mosquito control program is one that eliminates potential breeding habitats.

Corrective Maintenance

Corrective maintenance is required on an emergency or non-routine basis to correct problems and to restore the intended operation and safe function of all landscaped areas.

Corrective maintenance activities include:

Removal of Debris and Sediment: Sediment, debris, and trash, which impede the hydraulic functioning of landscaping and prevent vegetative growth, will be removed and properly disposed. Temporary arrangements will be made for handling the sediments until a permanent arrangement is made. Vegetation will be re-established after sediment removal.

Structural Repairs: Once deemed necessary, repairs to structural components of landscaping will be done within 10 working days. Qualified individuals (i.e., the designers or contractors) will conduct repairs where structural damage has occurred.

Embankment and Slope Repairs: Once deemed necessary, damage to the embankments and slopes of landscaped areas will be repaired as soon as possible, and within 10 working days maximum.

Erosion Repair: Where a reseeded program has been ineffective, or where other factors have created erosive conditions (i.e., pedestrian traffic, concentrated flow, etc.), corrective steps will be taken to prevent loss of soil and any subsequent danger to the performance and use of landscaped areas as BMPs. There are a number of corrective actions that can be taken.

These include erosion control blankets, riprap, sodding, or reduced flow through the area. Designers or contractors will be consulted to address erosion problems if the solution is not evident.

Elimination of Animal Burrows

Animal burrows will be filled and steps taken to remove the animals if burrowing problems continue to occur (filling and compacting). If the problem persists, vector control specialists will be consulted regarding removal steps. This consulting is necessary as the threat of rabies in some areas may necessitate the animals being destroyed rather than relocated. If the BMP performance is affected, abatement will begin. Otherwise, abatement will be performed annually in September.

General Facility Maintenance: In addition to the above elements of corrective maintenance, general corrective maintenance will address the overall facility and its associated components. If corrective maintenance is being done to one component, other components will be inspected to see if maintenance is needed.

Maintenance Frequency

The Inspection & Maintenance Schedule included in enclosed Attachment A1 for all BMPs lists the schedule of maintenance activities to be implemented.

Debris and Sediment Disposal

Waste generated onsite is ultimately the responsibility of the Owner. Disposal of sediments, debris, and trash will comply with applicable local, county, state, and federal waste control programs.

Hazardous Waste

Suspected hazardous wastes will be analyzed to determine disposal options. Hazardous wastes generated onsite will be handled and disposed of according to applicable local, state, and federal regulations. A solid or liquid waste is considered a hazardous waste if it exceeds the criteria listed in the CCR, Title 22, Article 11.

C. Irrigation System

Inspection Frequency and Procedure

The Irrigation system shall be checked each week as a minimum. The following items shall be checked to insure that they are functioning properly:

The Irrigation system shall be checked each week as a minimum. The following items shall be checked to insure that they are functioning properly:

- Shut-off devices
- Pressure drop sensors
- Moisture sensors
- All piping and sprinkler heads to insure there are no leaks and that proper water spread is maintained.
- All flow reducers.
- Check for overspray/runoff

D. Roof Drains

All roof drains shall be inspected Prior to August 31 of each year to ensure that they are clean and free from trash and in good repair. They shall be flushed and any leaks or damages piping shall be either replaced or repaired. Where roof drains flow onto grass areas splash structures and or rock rip-rap shall be maintained so the flow from the roof drains do not cause erosion or damage to the grass area. During the rain season roof drains shall be inspected weekly and after each rain storm to insure that there is no trash and or silt build up that will restrict the run-off flow from the roof. All trash and/or silt build up shall be removed immediately.

- It is not permissible to directly connect roof drains into a drain system.
- Roof drain downspouts shall discharge runoff to a landscaped area, and to allow the runoff to flow through landscape, prior to entering a private yard drain system.

E. Storm Water Conveyance System Stenciling and Signing

- Signage/stenciling are to be inspected for legibility and visual obstruction and shall be Repaired and cleared of any obstruction within 5 working day of inspection.

- Inspection Frequency: Semi-annually, Prior to August 31 each year, and monthly during rainy season.

F. Structural BMP: Biofiltration

Vegetated Infiltration or Filtration BMP

Maintenance Indicators and Actions for Vegetated BMPs

Typical Maintenance Indicator(s) for Vegetated BMPs	Maintenance Actions
Accumulation of sediment, litter, or debris	Remove and properly dispose of accumulated materials, without damage to the vegetation.
Poor vegetation establishment	Re-seed, re-plant, or re-establish vegetation per original plans.
Overgrown vegetation	Mow or trim as appropriate, but not less than the design height of the vegetation per original plans when applicable (e.g. a vegetated swale may require a minimum vegetation height).
Erosion due to concentrated irrigation flow	Repair/re-seed/re-plant eroded areas and adjust the irrigation system.
Erosion due to concentrated storm water runoff flow	Repair/re-seed/re-plant eroded areas, and make appropriate corrective measures such as adding erosion control blankets, adding stone at flow entry points, or minor re-grading to restore proper drainage according to the original plan. If the issue is not corrected by restoring the BMP to the original plan and grade, The City or County must be contacted prior to any additional repairs or reconstruction.
Standing water in vegetated swales	Make appropriate corrective measures such as adjusting irrigation system, removing obstructions of debris or invasive vegetation, loosening or replacing top soil to allow for better infiltration, or minor re-grading for proper drainage. If the issue is not corrected by restoring the BMP to the original plan and grade, City staff in the Watershed Protection Program must be contacted prior to any additional repairs or reconstruction.
Standing water in bioretention, biofiltration with partial retention, or biofiltration areas, or flow-through planter boxes for longer than 96 hours following a storm event*	Make appropriate corrective measures such as adjusting irrigation system, removing obstructions of debris or invasive vegetation, clearing underdrains (where applicable), or repairing/replacing clogged or compacted soils.
Obstructed inlet or outlet structure	Clear obstructions.
Damage to structural components such as weirs, inlet or outlet structures	Repair or replace as applicable.
*These BMPs typically include a surface ponding layer as part of their function which may take 96 hours to drain following a storm event.	

Inspection Frequency

The facility will be inspected and inspection visits will be completely documented:

- Once a month at a minimum.
- After every large storm (after every storm monitored or these storms with more than 0.50 inch of precipitation.)
- On a weekly basis during extended periods of wet weather.

Maintenance is needed if vegetation height is greater than 5” (height shall be kept between 2” and 5”); if there is standing water; if debris are present or if sedimentation is occurring at the vegetation height; ensure that all landscaped areas have minimum of 80% coverage and that no animal burrows are present.

Visual Inspection as part of landscape maintenance

- Inspect before and after the rainy season (Prior to August 31).

Maintenance Category 2

Minimally, the responsible party must provide annual documentation to the City or County verifying that the BMPs are maintained and functioning properly. However, if the responsible party fails to perform maintenance, the City or County (in a "backup" role) may be required to perform the maintenance; therefore security funding is required. Maintenance securities are required for an interim 5-year period. However, maintenance responsibilities remain in perpetuity.

Category 2 Mechanisms to Assure Maintenance

1. Watershed Protection Ordinance Requirement: WPO Section 67.812 requires ongoing maintenance of BMPs. In the event that the mechanisms below prove ineffective, or in addition to enforcing those mechanisms, civil action, criminal action or administrative citation could also be pursued for violations of the ordinance.
2. Public Nuisance Abatement: Under the WPO failure to maintain a BMP would constitute a public nuisance, which may be abated under the Uniform Public Nuisance Abatement Procedure. This provides an enforcement mechanism additional to the above, and would allow costs of maintenance to be billed to the owner, a lien placed on the property, and the tax collection process to be used.
3. Notice to Purchasers: Section 67.812(e) of the WPO requires developers to provide clear written notification to persons acquiring land upon which a BMP is located, or others assuming a BMP maintenance obligation, of the maintenance duty.
4. Conditions in Ongoing Land Use Permits: For those applications (listed in WPO Section 67.810(a)) upon whose approval ongoing conditions may be imposed, a condition will be added which requires the owner of the land upon which the stormwater facility is located to maintain that facility in accordance with the requirements specified in the maintenance plan. Failure to perform maintenance may then be addressed as a violation of the permit, under the ordinance governing that permit process.

5. Subdivision Public Report: Tentative Map and Tentative Parcel Map approvals will be conditioned to require that, prior to approval of a Final or Parcel Map, the subdivider must provide evidence to the City or County, that the subdivider to be issued for the sales of lots within the subdivision, a notification regarding the maintenance requirement. (The requirement for this condition would not be applicable to specific subdivisions which are exempt from regulation under the Subdivided Lands Act, or for which no public report will be issued.)
6. BMP Maintenance Agreement with Easement and Covenant: WPO Section 67.812(f) requires that an agreement will be entered into with the City or County, which will function in three ways:
 - a. It will commit the land to being used only for purposes of the BMP;
 - b. It will include an agreement by the landowner to maintain the BMPs in accordance with the maintenance plan (this obligation would be passed on to future purchasers or successors of the landowner, as a covenant); and
 - c. It will include an easement giving the City or County the right to enter onto the land (and any necessary adjacent land needed for access) to maintain the BMPs. This would be required of all applications listed in WPO Section 67.810 with Category 2 BMPs. In the case of subdivisions, this easement and covenant would be recorded on or prior to the Final or Parcel Map.

Funding:

The developer must provide the City with security to substantiate the maintenance agreement; security will remain in place for an interim period of 5 years from the date of approval of the structural BMP Verification Acceptance Package. The amount of the security would equal the estimated cost of 2 years of maintenance activities. The security may be a Cash Deposit, Letter of Credit, or other form acceptable to the City or County. If at any time, owners fail to maintain BMPs and the City or County must perform any of the maintenance activities, then owners must pay all of City or County's costs incurred in performing the maintenance as defined in the maintenance agreement.

G. Outlet Structures

All outlet structures shall be kept functional at all times. Routine inspection and corrective maintenance shall include removal of trash sediment and debris and repair of any structural damage or clogging of orifice outlets. The minimum maintenance frequency shall be Prior to August 31 each year, weekly during rainy season or within 24 hours prior to rain forecasts.

H. Vector Control Owner Responsibilities

VECTOR MANAGEMET CONTROL REQUIREMENTS

Any method to limit or eradicate the mammals, birds, insects or other arthropods which transmit disease pathogens. Management of mosquitoes and other vectors in stormwater management structures, such as Bioretention Facilities and Best Management Practices, is critical for protecting public health.

In order to implement vector controls including minimizing the risk for mosquito-borne disease transmission, It is the responsibility of the Owner to regularly maintain the outlet structures and monitor the site after every storm event to ensure that the system (comprising of above and below ground storage facilities) is dewatered in less than 72 hours. Otherwise the owner will be required to implement a vector control plan in accordance with California Department of Public Health.

- Maintain all drainage inlets and outlets trash free; remove silt; make sure to clear any standing water after 72-hours of ponding.

Vector Control Resources:

1. For County of San Diego vector educational brochures please reference the following website: http://www.sdcounty.ca.gov/deh/pests/vector_disease.html
2. Please contact the County of San Diego vector control program with specific questions or concerns.

**ATTACHMENT “A1”
INSPECTION & MAINTENANCE SCHEDULE**

PREVENTATIVE MAINTENANCE AND ROUTINE INSPECTION					
TYPE BMP	Routine Action	Maintenance Indicator	Maintenance Frequency	MAINTENANCE ACTIVITY	SITE-SPECIFIC REQUIREMENTS
Landscaping & irrigation	Proper irrigation & Fertilizer.	Less than 80% coverage	Prior to August 31 each year and once during rainy season (Prior to August 31)	Re-plant. Repair Irrigation system within 5-days.	All slopes and landscaped areas are to have a minimum coverage of 80%
Trash storage areas	Trash free and removal of silt	Visual Inspection	Daily inspection	Remove trash and silt Daily.	All trash storage areas to be free from trash and silt at all times
Roof drain	Trash free and removal of silt, sedimentation & Debris	Silt build up of more than 1” no trash	Prior to August 31 each year and weekly during rain season.	Remove all trash and silt and repair any damage to roof drains,	All Roof to be free from trash and silt and in good repair
Bioretention – Biofiltration Facilities	Trash free and removal of silt. Clear Clogged outlets and Standing Water.	Silt build up of more than 2” no trash, Exposed soils, dead vegetation, ponded water, and excessive vegetation (see TC-30)	Prior to August 31 each year, monthly during rainy season, and after Storm Event	Remove trash and silt –repair and reseed exposed areas, maintain grass height so as not be shorter than 2” or higher than 5” remove all ponded water weekly inspections, (See TC-30)	All bio-filters to be free from trash and silt at all times, grass area to be free from exposed soil and maintained to proper height, removal of any ponding of water for more than 72 hours.
Storm Water Conveyance system Stenciling & Signing	Must be legible at all times and have a clear view.	Fading of paint or illegible letters or	Semi-annually, Prior to August 31 each year & monthly during rainy season	Repaint stenciling and/or replace signs Prior to August 31.	Appies to all stenciling and signs
Outlet Structures	Must be kept functional at all times. Clear Clogged outlets and Standing Water.	Silt, debris, trash accumulation, Ponding Water	Prior to August 31 each year and weekly during rainy season or within 24 hours prior to rain forecasts.	Silt, debris, trash accumulation and repair any structural damage to the outlet structures.	All outlet structures shall be kept functional at all times.

ATTACHMENT "B1"

<u>Annual Estimate to Maintain all BMPs</u>	<u>Annual</u>	<u>10-Year</u>
<u>Landscaping & Biofiltration</u> Maintenance of landscaping and bio-filters is already included in the property management responsibilities. Additional cost:	\$400	\$4,000
<u>Irrigation System:</u> Inspection and maintenance of the irrigation system is already included in the property management responsibilities, Additional cost:	\$100	\$1,000
<u>Roof Drains:</u> Roof drain inspection and maintenance is already included in the property management responsibilities.		
<u>Training:</u> Once a year & training of new employees within their first week of employment.	\$100	\$1,000
<u>Stormdrain Signage</u> (As needed or every 2 years)	\$100	\$1,000
<u>Trash Storage Areas:</u> Inspection of trash storage area & maintenance to those areas is already included in the property management responsibilities. Additional cost:	\$50	\$500
<hr/> <hr/>		
Total Estimated Annual Cost to Maintain BMPs	\$750	\$7,500

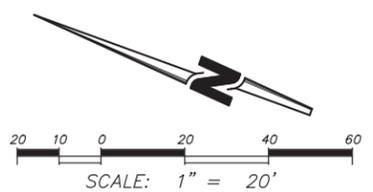
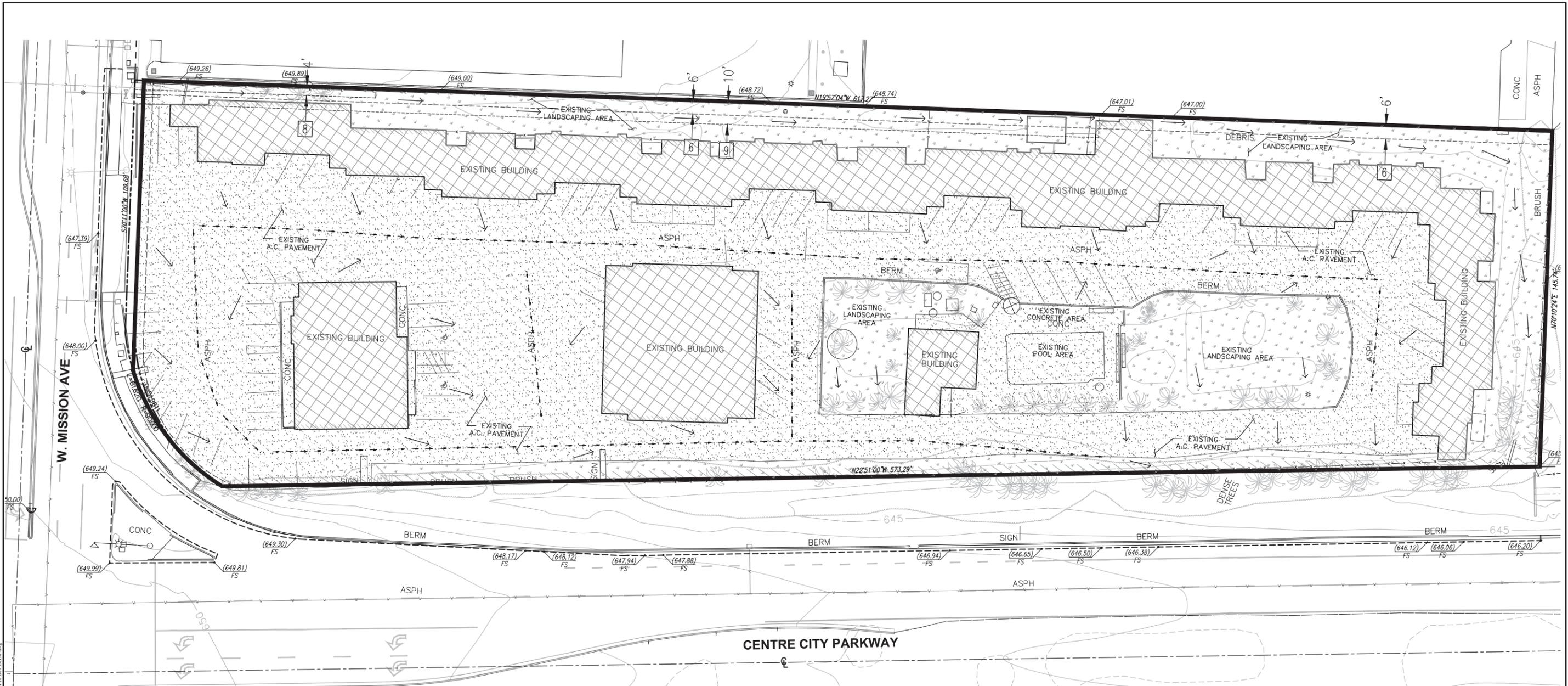
ATTACHMENT "D1"

INSPECTION AND MAINTENANCE LOG				
BMP TYP & LOCATION	DATE M/D/Y	Name of Person Inspecting	Description of BMP Condition/ Description repair required if any	Date Repair made and Description repair made and by who

ATTACHMENT 4

Single Sheet BMP Exhibit

PLOT DATE: 2/1/2017 7:25 AM S:\Spear\Projects\2016\6-269\NLA ACQUISITIONS - 425 W MISSION AVE. ESCONDIDO\CAD\6-269\Pre Dev\ DAM.dwg



IMPERVIOUS AREAS (PRE-DEV):

TOTAL LOT AREA (NET) = 98,040 sf (2.25 AC)	
EX. BUILDING ROOFTOP	24,790 SQ FT
EX. PARKING/DRIVE AISLE IMPERVIOUS AREA	48,500 SQ FT
EX. LANDSCAPING AREA	24,750 SQ FT
TOTAL LOT AREA (NET) = 98,040 SQ FT	

- LEGEND**
- PROJECT BOUNDARY
 - CONCENTRATED FLOW
 - SHEET FLOW
 - DRAINAGE AREA BOUNDARY



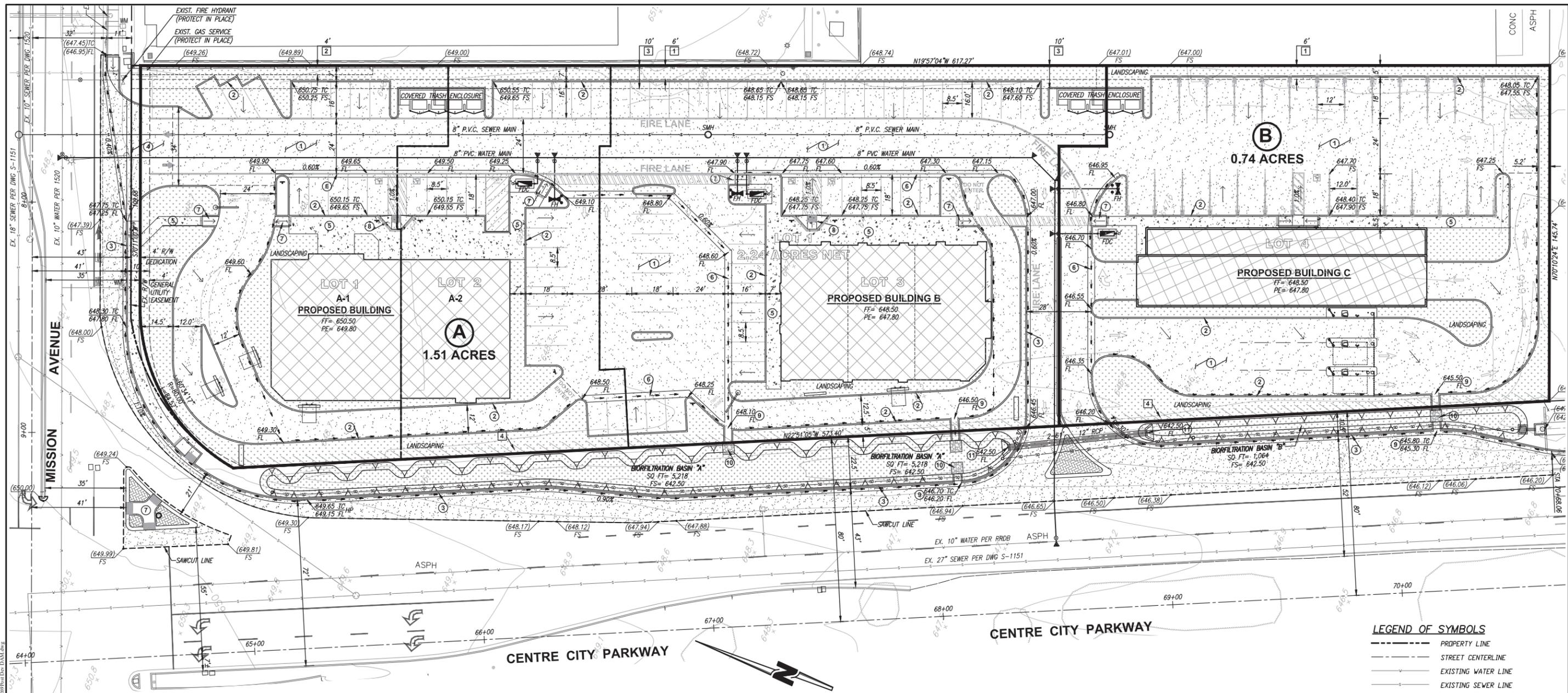
OWNER/PERMITTEE:
 NLA ACQUISITIONS, LLC
 725 COOL SPRINGS BLVD. SUITE 600
 FRANKLIN, TN 37067
 CONTACT: CHAD WILLIAMS
 (615) 815-1465

ASSESSOR'S PARCEL NO.:
 229-172-38

SITE ADDRESS
 425 & 427 W. MISSION AVENUE
 ESCONDIDO CA 92025

PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
 CIVIL ENGINEERING & LAND SURVEYING
 475 PRODUCTION STREET, SAN MARCOS, CA 92078
 PHONE (760) 736-2040 FAX (760) 736-4866
 WWW.SPEARINC.NET

**CENTRE CITY SHOPPING CENTER
 PRE-DEVELOPMENT DRAINAGE AREA MAP**

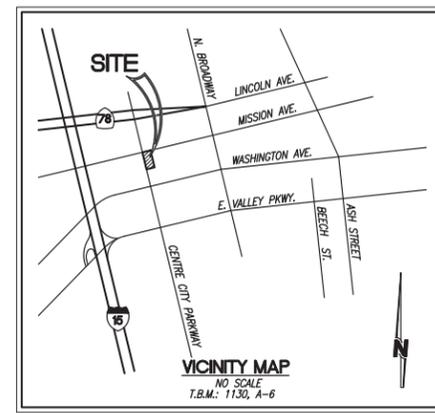
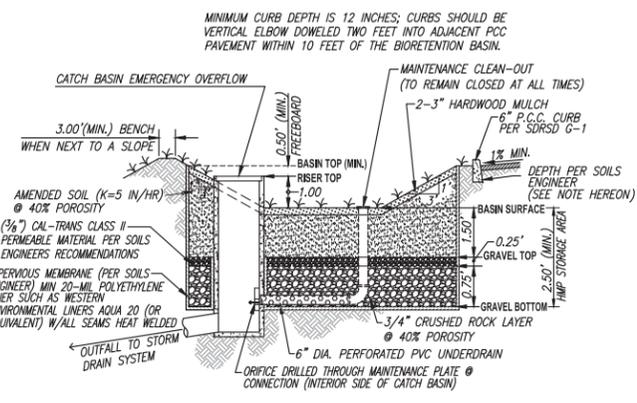
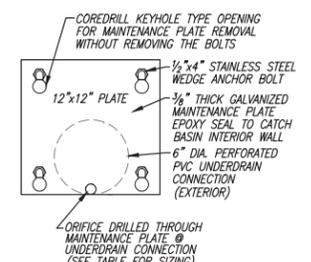
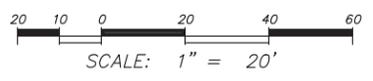


LEGEND OF SYMBOLS

- PROPERTY LINE
- - - STREET CENTERLINE
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- - - EXISTING CONTOURS
- - - SAWCUT LINE

DRAINAGE MANAGEMENT AREA TABLE

SYMBOL	PROPOSED SURFACE	SOIL TYPE	LOT 1	LOT 2	LOT 3	LOT 4
[Hatched]	ROOFTOPS	"C"	3,831 SF	2,678 SF	5,205 SF	4,290 SF
[Dotted]	PROPOSED NEW A.C. PAVEMENT	"C"	7,622 SF	9,153 SF	19,970 SF	20,808 SF
[Stippled]	CONCRETE WALKWAYS, HARDSCAPE, ETC.	"C"	895 SF	1,207 SF	1,507 SF	946 SF
[Cross-hatched]	LANDSCAPING	"C"	5,702 SF	3,222 SF	4,891 SF	6,112 SF
TOTAL PARCEL SIZE:			18,050 SF	16,260 SF	31,573 SF	32,156 SF



SITE ADDRESS:
425 & 427 W. MISSION AVE.
ESCONDIDO, CA 92025

ASSESSOR'S PARCEL NO.:
229-172-38

OWNER/APPLICANT DEVELOPER:
NLA ACQUISITIONS, LLC.

725 COOL SPRINGS BLVD. STE 600
ADDRESS
FRANKLIN, TN 37067
CITY, STATE, ZIP CODE
(615) 815-1465
PHONE
CHAD WILLIAMS
CONTACT NAME

**CENTRE CITY SHOPPING CENTER
POST DEVELOPMENT DRAINAGE AREA MAP**