



# Pre-Approved ADU Program (*PAADU*) Site Plan Worksheet



**Disclosure:**

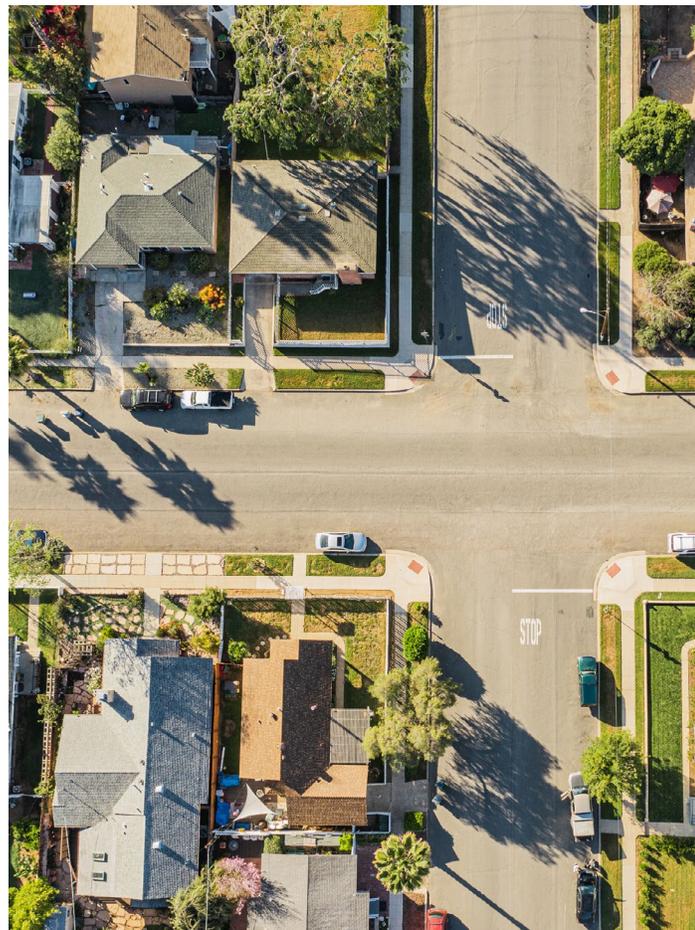
Site plan requirements vary on a case by case basis. The Site Plan Worksheet is not comprehensive or all-inclusive. The City is not responsible for any omissions or information not included.

# PAADU Site Plan

As part of PAADU permit submittal, applicants are responsible for providing their own site plan.

A site plan shows key information about a property like building location and dimensions, property lines, setbacks, connections to utilities, etc. It's recommended to hire a professional to produce a site plan, however, it is often helpful for homeowners to do a rough sketch first. Sketching a site plan can help you better understand how your ADU fits within your property, giving you the foresight to proactively tackle ADU tasks.

Use the grid provided on page 5 of this document to sketch your site plan. The questions on page 3 can help you begin gathering information you need.



## How to get started?

1. Once you've gathered all information, start by sketching out your property including:
  - ◆ Your property line (the boundary that defines your lot)
  - ◆ Adjacent streets

Then, work your way in by adding any existing structures or features like

- ◆ Your primary home
- ◆ Porches, garages, she-sheds, pools
- ◆ Driveways
- ◆ Trees and slopes

Focus on the basic shape of the structures. For example, is your home a rectangle or a square? If its more of an "L" shape, add an L shape.

Include approximate measurements and square footages.

2. Add the ADU to your sketch. Consider the shape of the ADU, placement in relation to any slopes, structures, and neighbors.
3. Add additional required information such as utility connections, topographic contour lines, easements, and any other applicable details to your lot.

Applicants are *strongly* encouraged to hire professional engineers or contractors to sketch the final versions of Site Plans and facilitate the ADU permitting process.

# Questions to get you started

## Where are your property boundaries located?

Your property's boundaries must be clearly labeled on your Site Plan. Information can be found on your deed.

## Does your property have any easements?

Easement information can be found on your property's Preliminary Title Report or Final Map. If applicable, include easement location, width dedication, and separation, reference to record date and map number.

## Do you have any accessory structures? If so, what are their dimensions?

Remember to provide measurements for all structures including your home, garages, patio covers, pools, and proposed ADU in linear feet and square feet on your site plan.

## Does your property have any driveways or other paved surfaces?

Remember to label accordingly on the site plan so it is clear.

## Where are your property's setbacks located?

ADUs should have a minimum of four feet side and rear yard setbacks. Remember to clearly label location of setbacks and distance to show that the placement of the ADU meets requirements.

## Where are your property's utility services located (water, sewer, and electricity)?

Site plan's must provide location, size, connection information, and elevation for all utilities. Mechanical, Electrical and Plumbing (MEP) engineers specialize on designing such systems. Page 7 provides additional details on what's required for the plan.

## What's the capacity your property's utility services?

Sewer lateral size:	inches
Water meter size:	inches
Electrical Panel:	amps

# Other questions that you may want to consider include:

## **Is your property on the Old Escondido Neighborhood?**

You may want to reach out to the planning department at [planning@escondido.gov](mailto:planning@escondido.gov) or 760-839-4671

## **Is your property on a Fire Hazard zone or FEMA flood zone?**

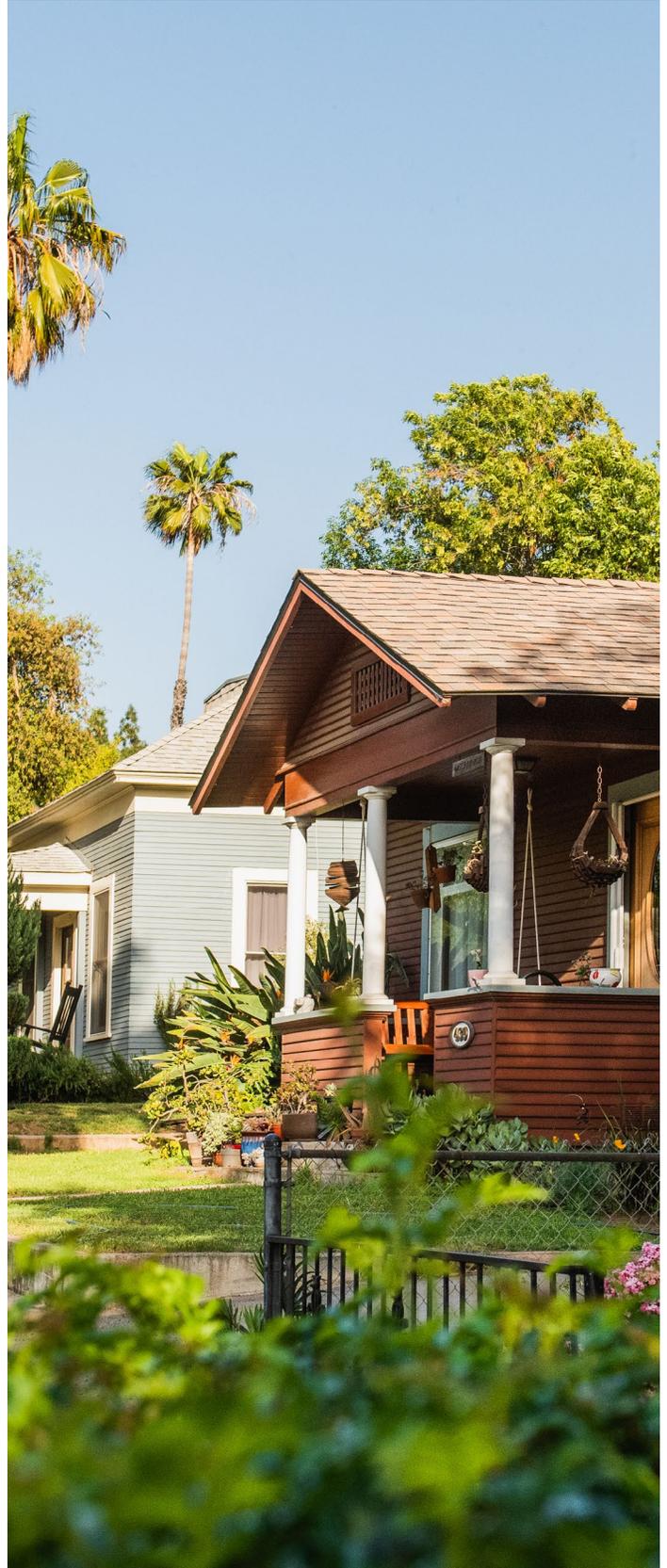
Use Escondido's Fire Hazard map and the FEMA Flood Zone map to know.

## **Do you require approval from a Homeowners Association?**

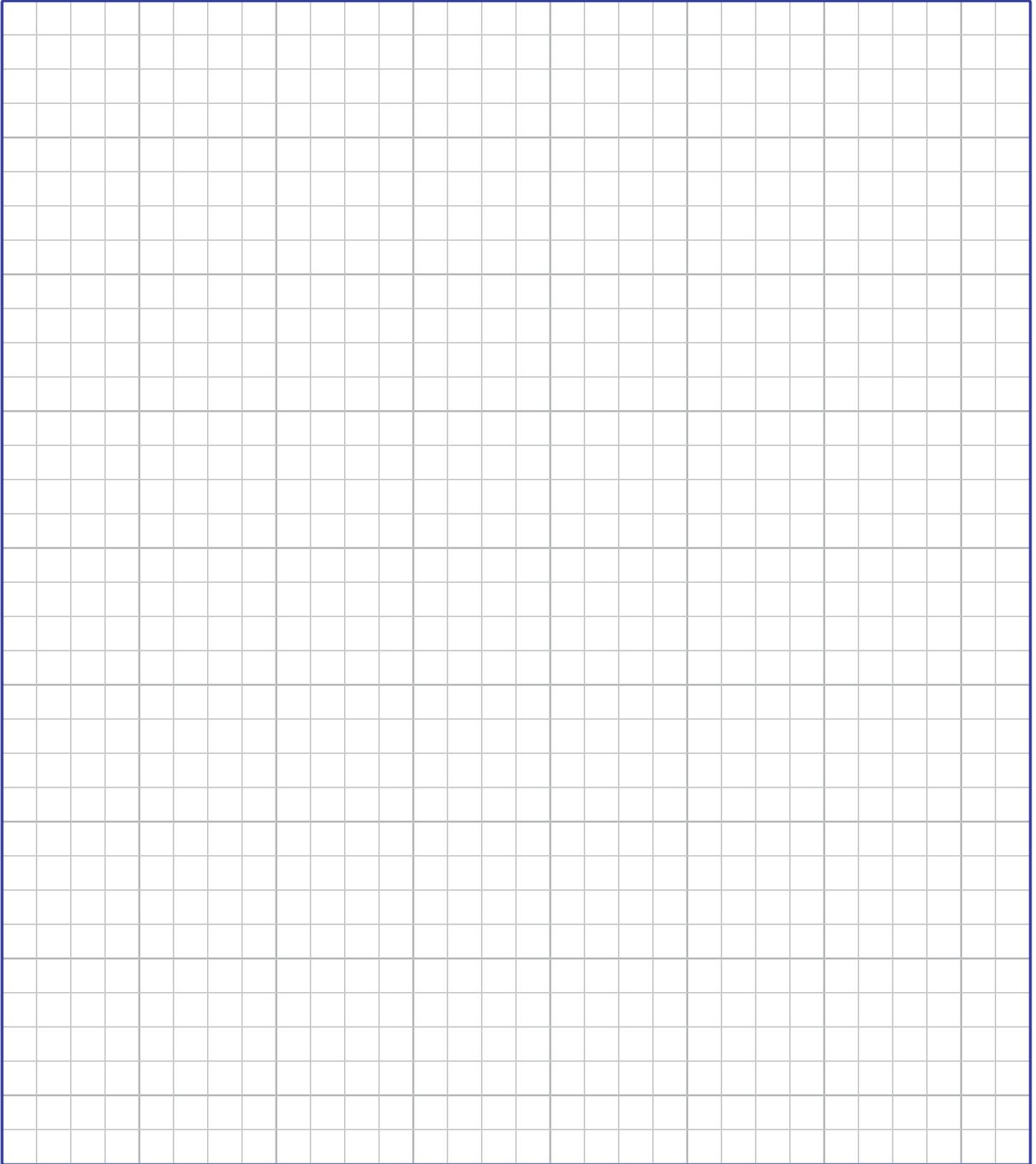
While HOAs cannot prohibit you from building an ADU, they can impose additional restrictions.

## **Does your property have a fire sprinkler?**

ADU's are required to have a fire sprinkler if the main property has a fire sprinkler. If fire sprinklers are required, a minimum 1" water meter, water service, and back flow preventer will be required.



# Draft Site Plan Grid



Scale: \_\_\_\_\_ = \_\_\_\_\_

The grids are scaled at 1/4" = 1' or you may enter a custom scale above.

**Reminder:** Check development standards while creating the site plan to ensure compliance with the municipal code.

# Site Plan Requirements List

The information below must be included as part of the site plan. Site plan requirements vary on a case by case basis, additional information may be required. An example Site Plan can be seen on Page 4.

**Note:** Final site plan must be drawn to a measurable scale and include North arrow.

## Property lines

Show an outline of the property using dashed line in legend. Indicate the bearing and distance of the property line in relation to the ADU in feet.

## Property setting

Clearly label and illustrate adjacent sidewalks, streets, and alleys. Add any existing or proposed landscaping, fencing, driveways, pathways, parking, and other hard scape in feet.

## Setbacks

Clearly label the distance between buildings and property lines. Setbacks to side and rear property side shall be a minimum of four feet from the ADU.

**Note:** For safety, the Building and Fire department may require additional setbacks.

## Easements

If applicable, include easement location, width dedication, and separation in relation to structures. Include a reference to record date and map number.

## Footprint of existing buildings

Indicate the square footage of the existing house and other existing structures like porches, gazebos, etc.

## Footprint of proposed ADU

Draw and add the footprint of the proposed ADU.

**Note:** If ADU is in a FEMA flood zone, final pad elevation must be provided.

## Building separation

Clearly label the distance between the proposed ADU and any existing structures. ADU's should be at least 10-feet from any structure.

## Location of rainwater leaders

The roof drains should drain away from the property lines and into the landscape area.

## Location of electrical panel

The PAADU Title sheet shows a panel options and maximum amperage for the proposed ADU. Electrical load calculations are required as part of the Site Plan.

## Location of fire hydrants

Indicate the location of all fire hydrants within 500 feet of the property.

## Swimming Pools

All existing swimming pools shall be shown on the site plan and shall have ten feet minimum setback to the new ADU structure.

## Removal or relocation

Any removal or relocation of buildings and/or vegetation must be clearly shown on the plans.

**Label and provide the exact location, elevation, and sizing of all existing and proposed utilities including water, sewer, and electrical.**

**a. Location.** Include existing location of the water meter and public meter main. Location existing public sewer main and sewer clean out. Location of the existing electrical panel and poles. Show proposed lateral connections for all. Also, include any existing or proposed drains, gas meters and lines, photovoltaic systems, if applicable.

**b. Elevation.** Include existing and proposed invert elevation of sewer lateral and elevation for water lateral.

**Note:** The City of Escondido prohibits the use of sewage ejector pumps. Pumps will only be considered for extraneous circumstances.

**c. Sizing.** Include sewer and water pipe sizing and justify how sizing is adequate for ADU services. If services are connected to existing main, provide justification how mains will handle increased flows.

**d. Service.** Specify if the ADU will have new independent services directly from the public right of way connection or if the services will be branched off the existing main lines on the property.

**Note:** Per City of Escondido standards, only one sewer lateral connection to public sewer main is allowed per legal lot.

**e. Septic.** If the property is not connected to sewer, a letter from the Department of Environmental Health (DEH) certifying the septic system has adequate service must be provided. Site plan must show septic system including septic tank, distribution box, and leech fields.

**Suggested:** To facilitate the permitting process, include one page word document or narrative describing in your own words the planned scope of work as well as any unusual conditions on site that can't be properly explained in the site plan.

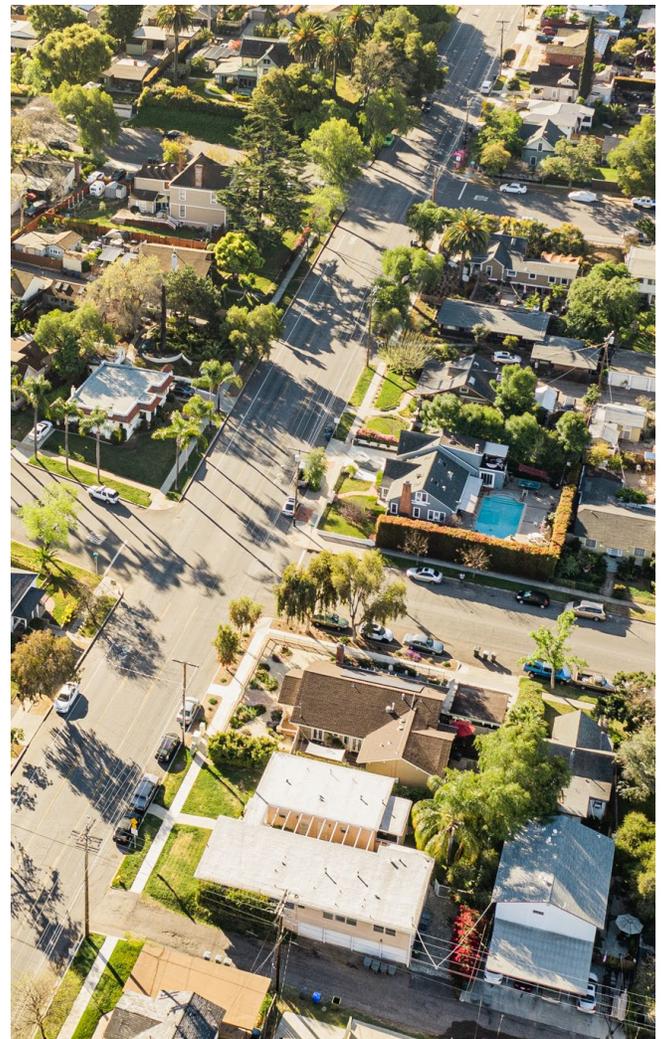
**Show all electrical vehicle (EV) charging and all associated circuits for new and existing locations.**

**Lot coverage calculation**

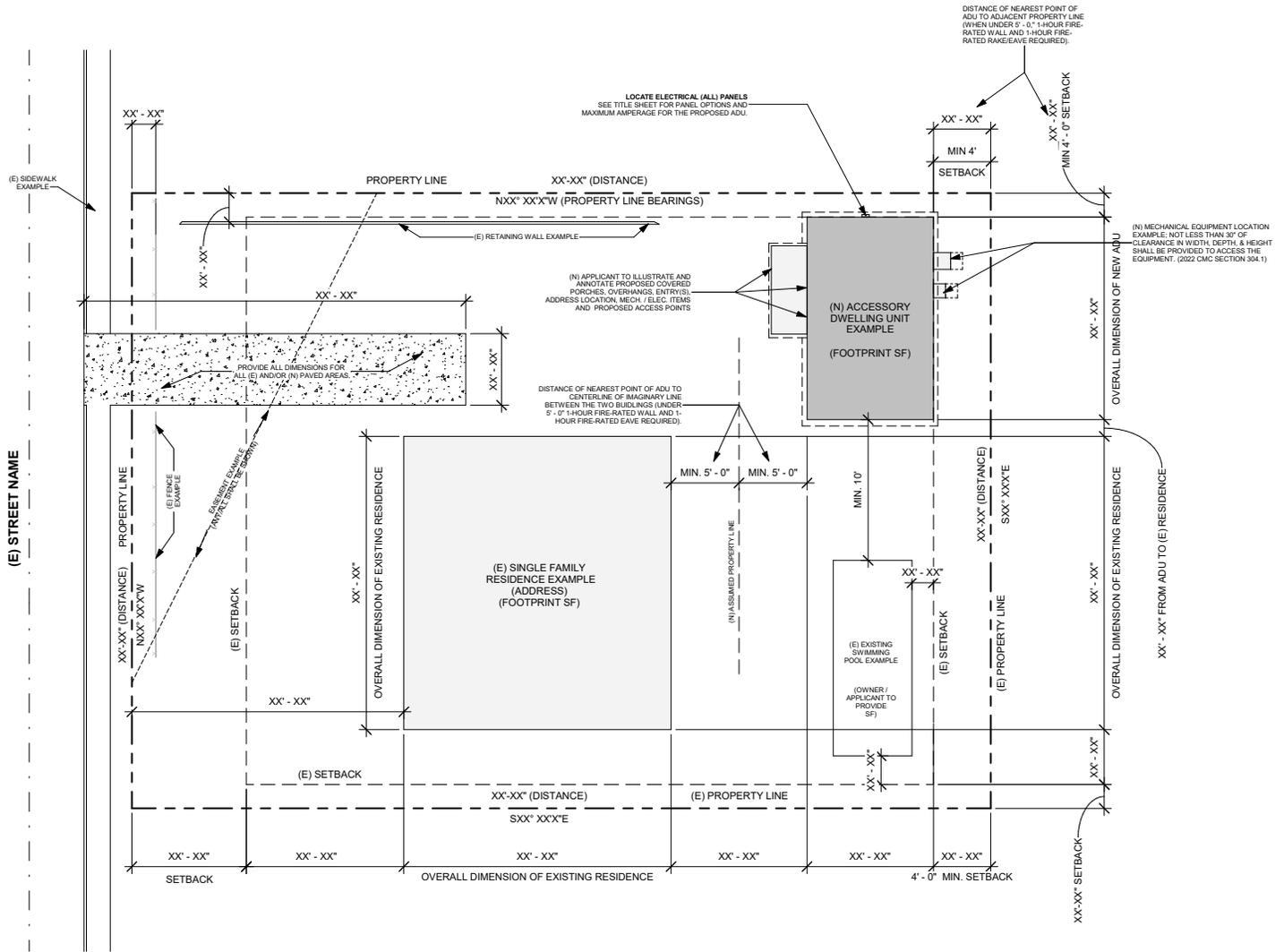
Total horizontal area of the building site covered by any buildings

**Topography**

Show one foot contours on site and twenty feet offsite or drainage arrows with slope percentages. (*Requirement may be waived at building officials discretion.*)



# Sample Site Plan



**Note:** Utility connection, drainage arrows, and easement information are not shown on the example Site Plan.

All information listed on the Site Plan Requirement list is still required.