

Pre-Approved ADU Program (*PAADU*) Option Selections Handout

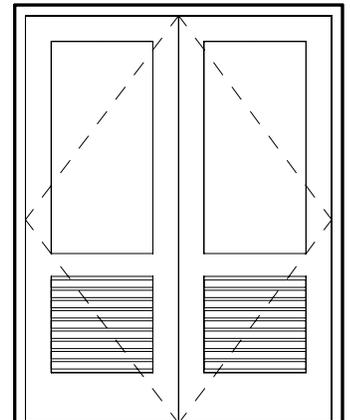
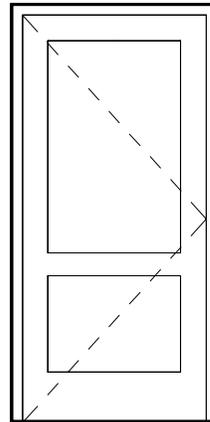
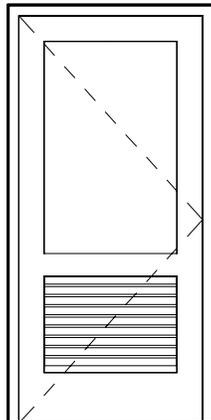
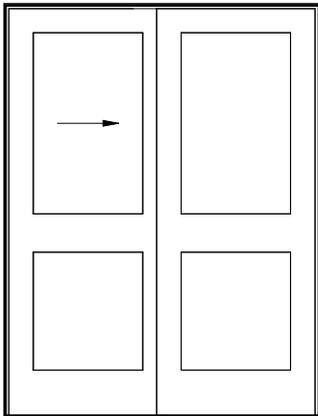
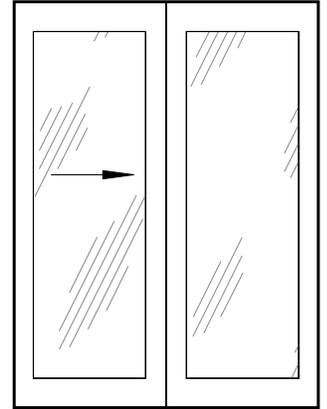
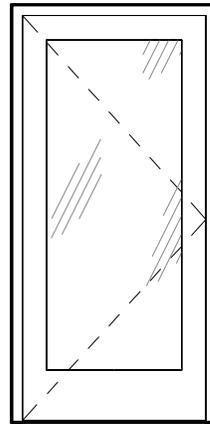
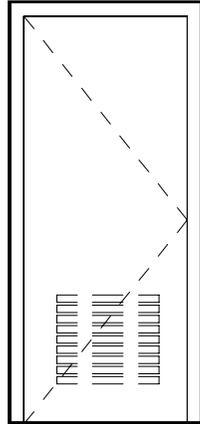
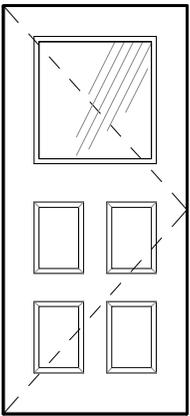




Table of Contents

Introduction	3
Plan 1	4
Plan 2	10
Plan 3	15
Plan 4	20

Introduction

The City of Escondido's pre-approved PAADU plan sets allow applicants to make small, cosmetic changes to tailor ADUs to an applicant's needs and preferences.

The following pages provide an overview of ADU customization options, including graphics that illustrate the differences between them.

What are cosmetic changes?

Cosmetic changes are changes that only affect how a building looks, without changing its underlying structure. This can include things like replacing a window with a sliding door, adding a porch, or changing the exterior appearance. The City's PAADU plans only allow cosmetic changes and do not permit structural changes.



What are structural changes?

Structural changes are those that alter the building's structure, such as moving or removing critical interior or exterior walls, changing the foundation, or changing the size of windows, etc.

Applicants may use this handout to:

1. Evaluate options each plan offers
2. Keep track of selections

Once the selected pre-approved plan set has been downloaded, the applicant will need to mark their selections on the title sheet. To access the plans go to: escondido.gov/1207

Please note:

Applicants are responsible for indicating their plan selections on the title sheet of the chosen PAADU plan.

ADU Option Selections Handout

Example:

Option Example Title

Option 1

Option 2

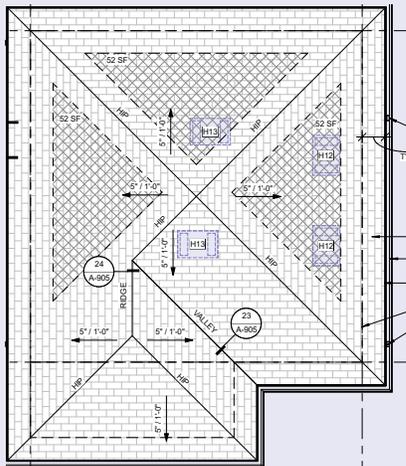
**In this example, Option 1 would be incorporated as part of the ADU*



Plan 1

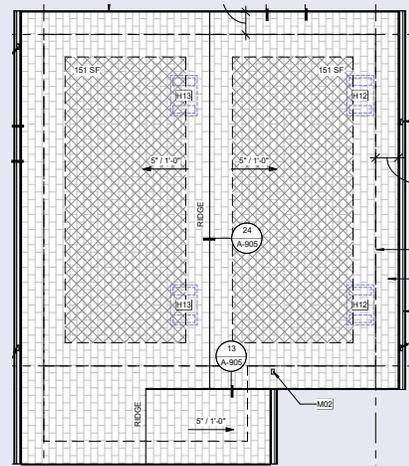
Please review and select between the following options. All selections must be filled out on the PAADU plans checklist provided on Sheet G-001.

Roof Style



Hip

* A hip roof style is comprised of four slopes and may be more expensive to construct due to additional material and labor costs.



Gable

* A gable roof style has two slopes and may be less expensive to construct.

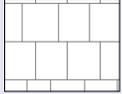
Roof Material

Asphalt Shingle

Manufacturer:

Product Name:

Listing Report #:



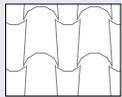
ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
(SHALL COMPLY WITH CRC R905.2.4, CRC R905.1, TABLE R905.1.1(1),
TABLE R905.1.1(2) & ASTM D3462)

Clay 'S' Tile

Manufacturer:

Product Name:

Listing Report #:



S-TILE CLAY ROOF - CLASS C MIN. REQ.
ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
(SHALL COMPLY WITH CRC R905.1, CRC R905.3)

Roof Underlayment

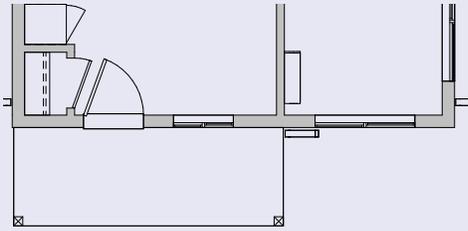
Roof Underlayment

Manufacturer:

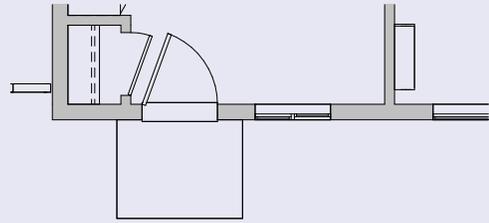
Product Name:

Listing Report #:

Covered Porch

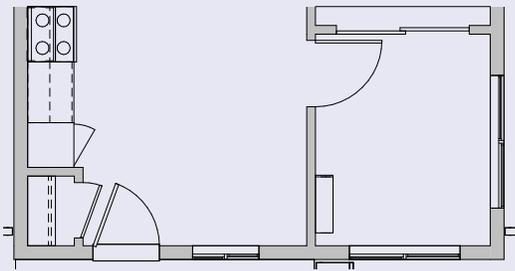


Yes

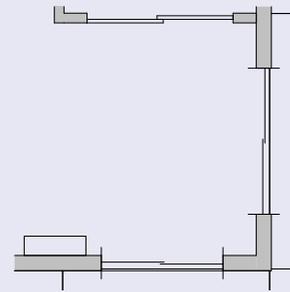


No

Bedroom or Studio

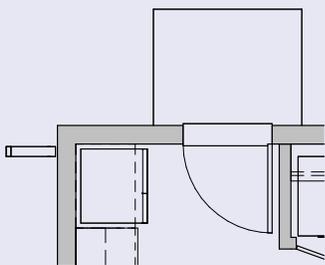


**One bedroom option
(with bedroom wall)**

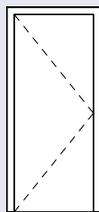


**Studio option
(without bedroom wall)**

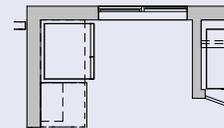
Rear Options



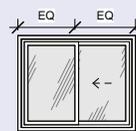
Rear door



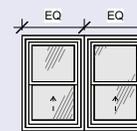
**TYPE C
EXTERIOR
SOLID CORE**



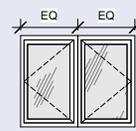
Rear window



**TYPE B
HORIZONTAL SLIDER**



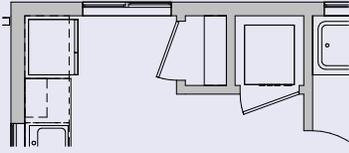
**TYPE B
MULTIPLE SINGLE
HUNG WINDOWS**



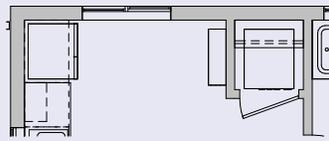
**TYPE B
MULTIPLE CASEMENT**

** Door and window images are strictly examples*

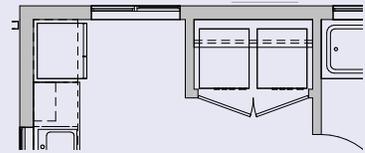
Washer/Dryer Options



Stack washer/dryer with a pantry

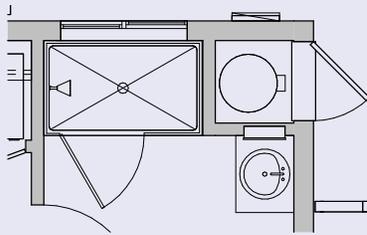


Stack washer/dryer for additional open space

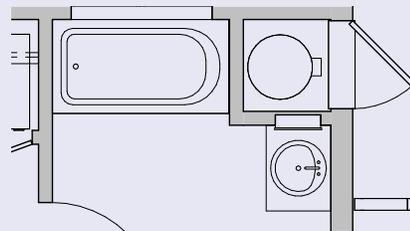


Do not stack washer/dryer

Bath Options

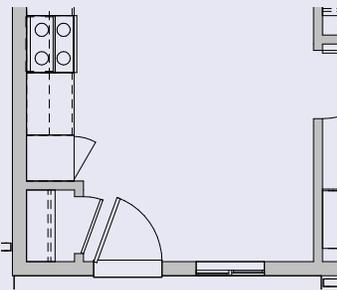


Shower

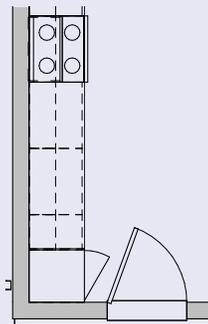


Bathtub

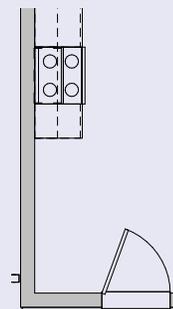
Extra Space Options



Coat closet & pantry



Additional millwork, counter space, pantry & no coat closet



Extra space by entryway (no coat closet)

Optional Doors and Windows

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Yes, indicate on door & window schedules, and indicate on plans

No, doors & windows in primary views to remain

Water Heater

On sheet A-931, the PAADU Program pre-approved plans include the specifications for the water heater selected as part of the Title 24 calculations. If the applicant selects a different water heater model, a new Title 24 report will be required as part of the application submittal.

Northwest Energy Efficiency Alliance (NEEA) Rated Heat Pump Water Heater; Specific Brand/Model Must Be Installed (Per Title 24)

Alternative Water Heater With Stipulation That New T24 Energy Report Is Provided. Manufacturer & Model

Electrical Panel

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New Electrical Main Panel of 200 Amp With 225 Amp Minimum Busbar Rating

New Electrical Main Panel Minimum 400 Amp Dual Meter At Primary House With A New Electrical Sub-Panel At ADU That Connects To The Main Panel

A New Electrical Subpanel Connects To The Electrical Main Panel Of 220 Amp On The Primary Home With A 225 Amp Minimum Busbar Rating

Wall & Ceiling Materials & Composition Selections Options

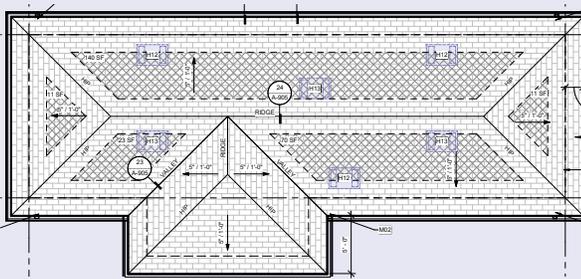
The PAADU pre-approved plans include options for homeowners who might be interested in providing additional sound insulation or incorporate materials with improved moisture/mold resistance performance products as detailed on sheets A1-121, A1-122, and within the wall legend in sheet A1-101.

- (A) Improved sound insulation**
- (B) Improved moisture & mold & mildew-resistant performance**
- (C) Both A & B**
- (D) None**

Plan 2

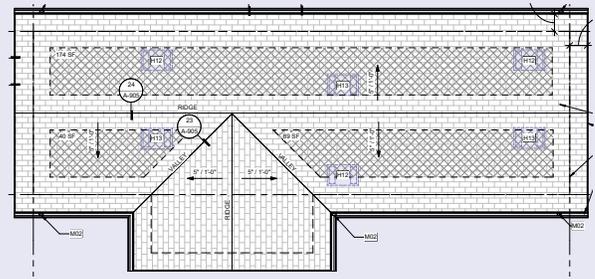
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Gable

* A gable roof style has two slopes and may be less expensive to construct.

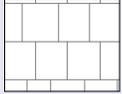
Roof Material

Asphalt Shingle

Manufacturer:

Product Name:

Listing Report #:



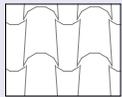
ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
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Clay 'S' Tile

Manufacturer:

Product Name:

Listing Report #:



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(SHALL COMPLY WITH CRC R905.1, CRC R905.3)

Roof Underlayment

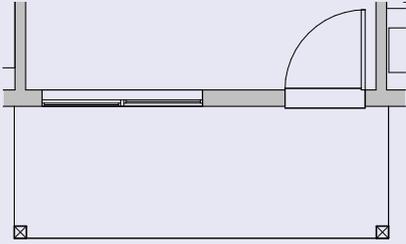
Roof Underlayment

Manufacturer:

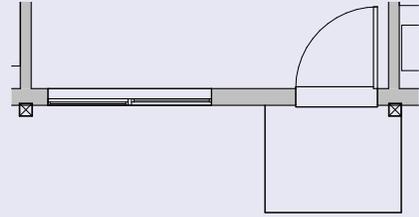
Product Name:

Listing Report #:

Covered Porch

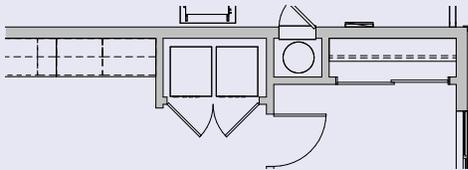


Yes

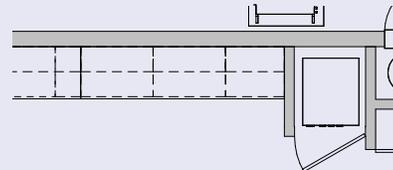


No

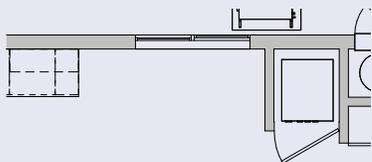
Washer/Dryer Options



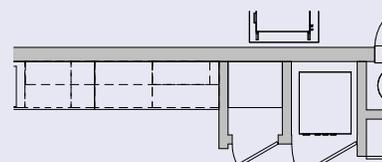
**Side by side washer/
dryer with cabinets**



**Stack washer/dryer
with reduced cabinets**

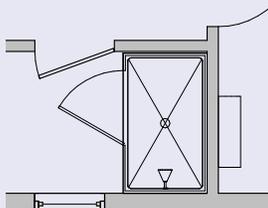


**Stack washer/dryer &
dining with window**

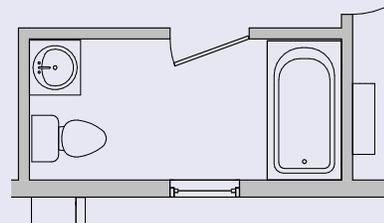


**Stack washer/dryer
with pantry**

Bath Options



Shower



Bathtub

Optional Doors and Windows

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Yes, indicate on door & window schedules, and indicate on plans

No, doors & windows in primary views to remain

Water Heater

On sheet A-931, the PAADU Program pre-approved plans include the specifications for the water heater selected as part of the Title 24 calculations. If the applicant selects a different water heater model, a new Title 24 report will be required as part of the application submittal.

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Alternative Water Heater With Stipulation That New T24 Energy Report Is Provided. Manufacturer & Model

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Wall & Ceiling Materials & Composition Selections Options

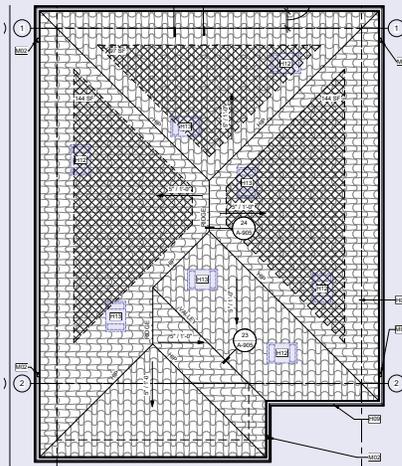
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- (C) Both A & B**
- (D) None**

Plan 3

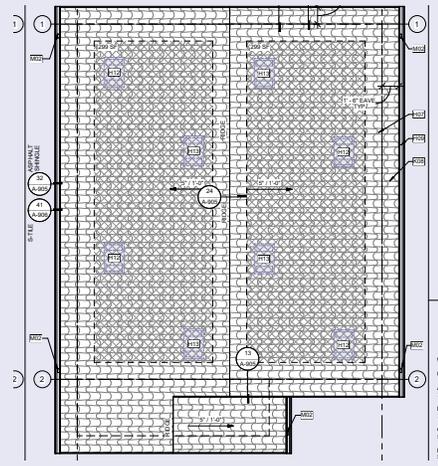
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Gable

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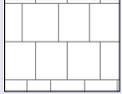
Roof Material

Asphalt Shingle

Manufacturer:

Product Name:

Listing Report #:



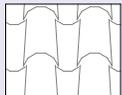
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Clay 'S' Tile

Manufacturer:

Product Name:

Listing Report #:



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Roof Underlayment

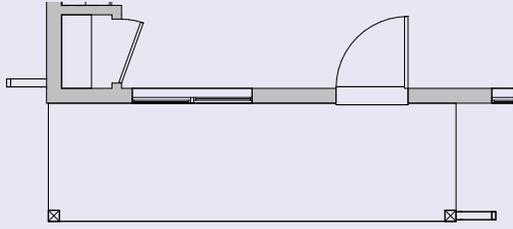
Roof Underlayment

Manufacturer:

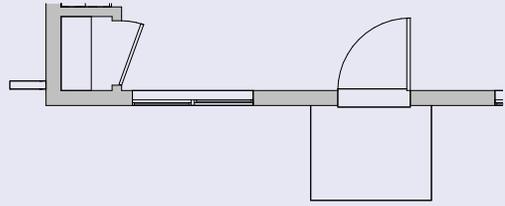
Product Name:

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Covered Porch

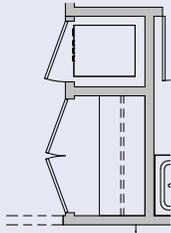


Yes

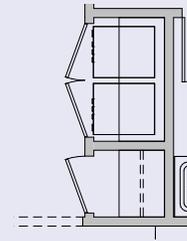


No

Washer/Dryer Options

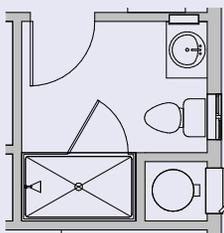


**Stack washer/dryer to
add closet space**

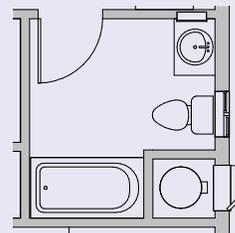


**Do not stack
washer/dryer**

Bath Options



Shower



Bathtub

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A New Electrical Subpanel Connects To The Electrical Main Panel Of 220 Amp On The Primary Home With A 225 Amp Minimum Busbar Rating

Wall & Ceiling Materials & Composition Selections Options

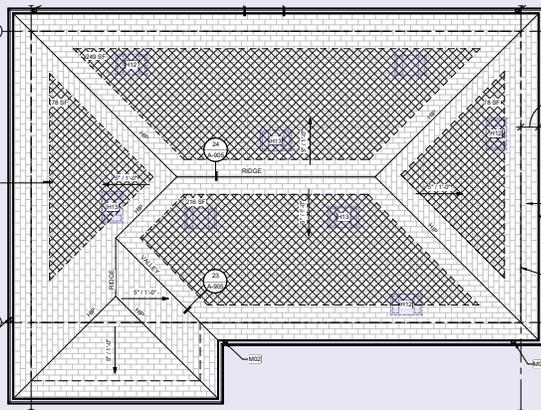
The PAADU pre-approved plans include options for homeowners who might be interested in providing additional sound insulation or incorporate materials with improved moisture/mold resistance performance products as detailed on sheets A1-121, A1-122, and within the wall legend in sheet A1-101.

- (A) Improved sound insulation**
- (B) Improved moisture & mold & mildew-resistant performance**
- (C) Both A & B**
- (D) None**

Plan 4

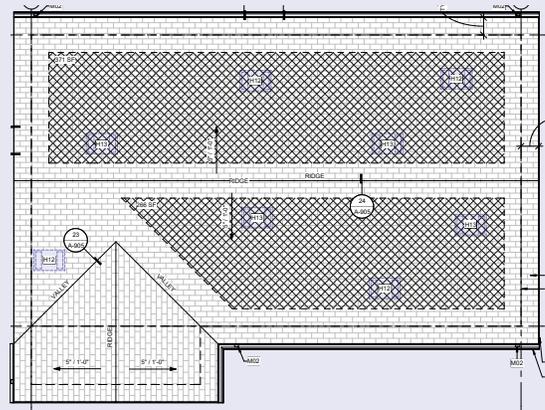
Please review and select between the following options. All selections must be filled out on the PAADU plans checklist provided on Sheet G-001.

Roof Style



Hip

** A hip roof style is comprised of four slopes and may be more expensive to construct due to additional material and labor costs.*



Gable

** A gable roof style has two slopes and may be less expensive to construct.*

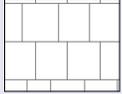
Roof Material

Asphalt Shingle

Manufacturer:

Product Name:

Listing Report #:



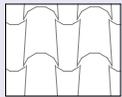
ASPHALT COMPOSITE ROOF SHINGLES - CLASS C MIN. REQUIRED.
ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
(SHALL COMPLY WITH CRC R905.2.4, CRC R905.1, TABLE R905.1.1(1),
TABLE R905.1.1(2) & ASTM D3462)

Clay 'S' Tile

Manufacturer:

Product Name:

Listing Report #:



S-TILE CLAY ROOF - CLASS C MIN. REQ.
ROOF REFLECTANCE (0.1) MIN. ROOF EMITTANCE (0.85) MIN.
(SHALL COMPLY WITH CRC R905.1, CRC R905.3)

Roof Underlayment

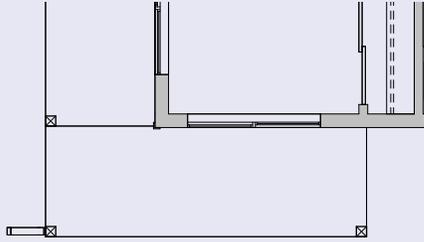
Roof Underlayment

Manufacturer:

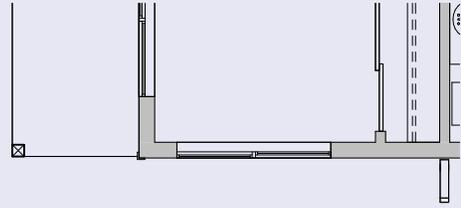
Product Name:

Listing Report #:

Covered Porch

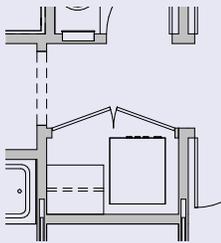


Yes

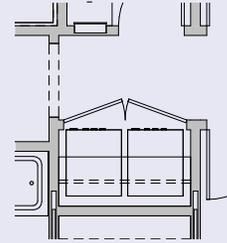


No

Washer/Dryer Options

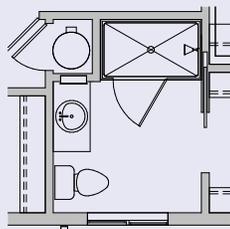


Stack washer/dryer to allow for additional shelving & storage

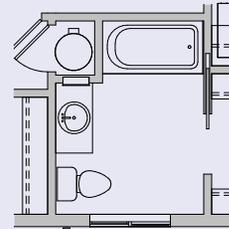


Do not stack washer/dryer

Bath Options

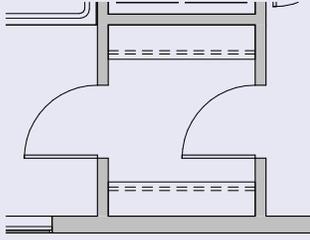


Shower

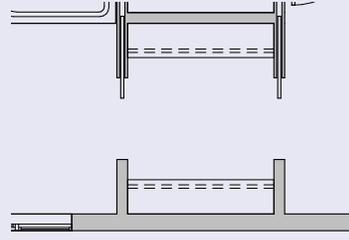


Bathtub

Door Options

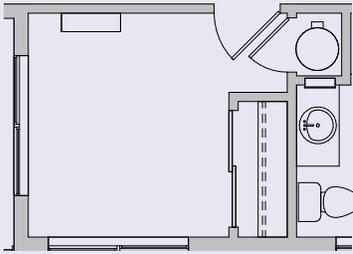


Add swing doors at walk-in closet

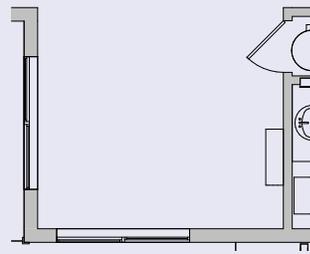


Do not add swing doors at walk-in closet (sliding doors)

Bedroom Options



**Third bedroom option
(include bedroom wall)**



**Two bedroom option
(without bedroom wall)**

Optional Doors and Windows

The PAADU prototype plans include a few openings where applicants can select between installing a door or a window. On sheet A1-101 of the plan set, you will be required to strike through the window and door tags that will not be used. If you do not want to select optional doors and windows by selecting no, doors and windows in primary view will remain.

Yes, indicate on door & window schedules, and indicate on plans

No, doors & windows in primary views to remain

Water Heater

On sheet A-931, the PAADU Program pre-approved plans include the specifications for the water heater selected as part of the Title 24 calculations. If the applicant selects a different water heater model, a new Title 24 report will be required as part of the application submittal.

Northwest Energy Efficiency Alliance (NEEA) Rated Heat Pump Water Heater; Specific Brand/Model Must Be Installed (Per Title 24)

Alternative Water Heater With Stipulation That New T24 Energy Report Is Provided. Manufacturer & Model

Electrical Panel

At the time of the application submittal, you will be required to specify on the title sheet if your ADU will have its own separate utility service installed or if the ADU will be sub-fed from an existing adequate service. You will be required to provide complete electrical load calculations for review. If sub-fed, you will be required to please provide a second and separate load calculation of the existing service to justify if it is adequate for the additional loads.

After you complete your electrical load calculations and confirm your selection, the plans include three different electrical panel options to choose from:

New Electrical Main Panel of 200 Amp With 225 Amp Minimum Busbar Rating

New Electrical Main Panel Minimum 400 Amp Dual Meter At Primary House With A New Electrical Sub-Panel At ADU That Connects To The Main Panel

A New Electrical Subpanel Connects To The Electrical Main Panel Of 220 Amp On The Primary Home With A 225 Amp Minimum Busbar Rating

Wall & Ceiling Materials & Composition Selections Options

The PAADU pre-approved plans include options for homeowners who might be interested in providing additional sound insulation or incorporate materials with improved moisture/mold resistance performance products as detailed on sheets A1-121, A1-122, and within the wall legend in sheet A1-101.

- (A) Improved sound insulation**
- (B) Improved moisture & mold & mildew-resistant performance**
- (C) Both A & B**
- (D) None**